

UNIT 7
UNIT 10UNIT 8
UNIT 11

GENERAL NOTES

1. THESE PLANS WERE DRAFTED TO MEET MOST LOCAL BUILDING CODES IN THE NORTHWEST OHIO & LOWER MICHIGAN AREAS AT THE TIME THEY WERE DRAWN. IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION FOR AN EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. HOWEVER, BECAUSE BUILDING CODES CAN CHANGE THESE PLANS DO NOT HAVE ANY WARRANTY FOR STRUCTURAL INTEGRITY OR CODE COMPLIANCE. IT IS HIGHLY RECOMMENDED THAT A STRUCTURAL ENGINEER REVIEW THESE PLANS FOR STRUCTURAL INTEGRITY, AS WELL AS FOR BUILDING CODE COMPLIANCE WITH ANY AND ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. IT IS THE RESPONSIBILITY OF THE BUILDING CONTRACTOR(S) TO BUILD THIS PROJECT IN CONFORMANCE WITH ALL LOCAL BUILDING, MECHANICAL, PLUMBING, AND ELECTRICAL CODES, AS WELL AS MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT, FIRE MARSHAL, & CONFORM WITH ALL STATE & LOCAL ENERGY REQUIREMENTS. ALL OF THE ABOVE COMPLIANCE WITH ANY AND ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
3. IF THESE PLANS ARE FOR AN ADDITION AND/OR A RENOVATION TO AN EXISTING STRUCTURE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS ETC., AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR(S) TO MODIFY ALL EXISTING CONSTRUCTION AS MAY BE REQUIRED TO ADAPT TO ANY NEW REQUIREMENTS.
4. THE PURCHASER OF THESE PLANS RELEASES THE DESIGNER/DRAFTSMAN FROM ANY CLAIMS OR LAWSUITS THAT MAY ARISE BEFORE OR DURING CONSTRUCTION OF THE STRUCTURE(S) DEPICTED IN THESE PLANS OR AT ANY TIME THEREAFTER.
5. ALL DIMENSIONS SHOULD BE READ AND CALCULATED AND NEVER SCALED FROM PRINT.
6. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE OUTSIDE OF 1/2" RIDGED INSULATION OR O.S.B. SHEATHING. ALL INTERIOR WALLS ARE DIMENSIONED FROM FACE TO FACE OF STUD WALL.
7. THE CONTRACTOR(S) SHALL CHECK AND VERIFY DIMENSIONS ETC., AT THE SITE BEFORE CONSTRUCTION AND/OR ORDERING MATERIAL. NOTIFY DESIGNER OF ANY DISCREPANCIES FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
8. CONTRACTOR(S) SHALL ENSURE COMPATIBILITY OF BUILDING WITH ALL SITE REQUIREMENTS AND VERIFY ALL UTILITY, STORMLINES, ETC. FOR INTERFERENCE WITH EXCAVATION.
9. ALL MATERIALS, SUPPLIES, AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND PER LOCAL CODES AND REQUIREMENTS.
10. ALL ANGLED WALLS ON FLOOR PLANS ARE AT A 45 DEGREE ANGLE UNLESS OTHERWISE SPECIFIED.
11. ALL WALLS ARE 8"-0" HIGH UNLESS OTHERWISE SPECIFIED, NOTED, OR IMPLIED.
12. CONFIRM WINDOW OPENINGS FOR YOUR LOCAL ENERGY REQUIREMENTS AND MINIMUM LIGHT & VENTILATION REQUIREMENTS.
13. IF NOT PARTICULAR WINDOW MANUFACTURER'S CATALOG NUMBERS HAVE BEEN NOTED (E. "GENERAL SIZE WINDOWS"), WINDOW SIZES SHOWN ARE NOMINAL. IN THAT CASE, EXACT SIZES SHALL BE DETERMINED BY CHOSEN WINDOW MANUFACTURER'S CATALOG.
14. INSTALL EXHAUST FANS IN ALL BATHS & LAVS PER 2019 EDITION OF RESIDENTIAL CODE OF OHIO - SECTION 303.3 OR APPLICABLE LOCAL BUILDING CODE.
15. PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS PER 2019 EDITION OF RESIDENTIAL CODE OF OHIO - SECTION 308.4 OR APPLICABLE LOCAL BUILDING CODE.
16. INSTALL GUARDRAILS AND STAIR HANDRAILS PER 2019 EDITION OF RESIDENTIAL CODE OF OHIO - SECTION 312 OR APPLICABLE LOCAL BUILDING CODE.
17. INSTALL SMOKE DETECTORS PER 2019 EDITION OF RESIDENTIAL CODE OF OHIO - SECTION 3124 OR APPLICABLE LOCAL BUILDING CODE. DETECTORS TO BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CARBON MONOXIDE ALARM ON EACH FLOOR PER SECTION 315.
18. COMPLETELY SEPARATE GARAGE FROM LIVING SPACE WITH MINIMUM 1/2" TYPE-X GYP. BOARD OR PER LOCAL APPLICABLE CODE.
19. INSTALL 1/2" DRYWALL ON ALL INTERIOR WALLS & CEILINGS. INSTALL 5/8" DRYWALL ON ALL CEILINGS WHICH HAVE FRAMED MEMBERS @ 24" O.C.
20. ALL FLOORS, ATTICS, SOFFITS, ETC. SHALL BE FIRE-STOPPED PER CODE.
21. PROVIDE ATTIC ACCESS WITH MINIMUM OF 22"x30" STAMPED OPENING.
22. PRE-FABRICATED FIREPLACES & FLUES ARE TO BE U.L. APPROVED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
23. BRICK SILLS TO HAVE FLASHING UNDER SILL AND UP OVER SIDING. BRICK VENEER TO BE TIED TO STUD WALL WITH BRICK TIES AT 16" C/Y AND WOODPOLES INSTALLED AT 32" C/C PROVIDE BRICK LEDGE IN FOUNDATION AT ALL BRICK VENEER.
24. PROVIDE 1 SQUARE FOOT OF FREE VENTILATING AREA FROM GRAVITY ROOF VENT FOR EVERY 150 SQUARE FEET OF ROOF.
25. BUILD UP ROOF SADDLES TO CREATE POSITIVE ROOF DRAINAGE.
26. ADJUST OVERHANGS TO ALLOW FASCIAS TO MAINTAIN A CONSISTENT LEVEL WHEN PLANS CALL FOR TWO DIFFERENT PITCHES AT 1" HP.
27. ALL MATERIALS, HARDWARE, APPLIANCES, CABINETS, INTERIOR FINISHES, COLOR ETC. SHALL BE APPROVED BY OWNER AND/OR BUILDER PRIOR TO INSTALLATION.

FOUNDATION NOTES

- CONCRETE MATERIALS AND MIX PROPORTIONING
- A) DESIRED STRENGTH: 3500 P.S.I.
- B) SLUMP: 3"-5"
- C) CEMENT CONTENT: 6 BAG/C.Y.
- D) COURSE AGGREGATE: MAXIMUM 1"
- E) AIR CONTENT: 4-6.5%
- 2) FOOTINGS
- A) ALL FOOTING SIZES ARE BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2000 POUNDS PER SQUARE FOOT.
- B) EXCAVATION BOTTOM OF FOOTING SHALL BE EXCAVATED TO A DEPTH OF 2" BELOW UNDISTURBED SOIL AND 6" BELOW THE DEPTH OF FIRST FROST PENETRATION.
- C) REINFORCEMENT:
1. UNREINFORCED - FOOTINGS SHOULD CONTAIN CONTINUOUS HORIZONTAL REINFORCEMENT WHEN UNSTABLE OR POOR SOIL CONDITIONS ARE ENCOUNTERED (ALLOWABLE SOIL BEARING PRESSURE BELOW 2000 P.S.F.)
2. PROVIDE VERTICAL DOWELS AS SHOWN ON DRAWINGS. DOWELS TO BE TIED TO KEYWAY STRIP FOR SUPPORT.
- D) FORMING:
1. EARTH FORMS ACCEPTABLE WHEN COHESIVE SOILS SUCH AS CLAY ENCOUNTERED.
2. WOOD FORMS SHOULD BE USED WHEN WHEN NON-COHESIVE SOILS SUCH AS SAND ENCOUNTERED.
- 3) FORMWORK
- A) PLACEMENT: FORMWORK FOR CONCRETE WALLS SHALL BE DESIGNED AND PLACED AS PER ACI-SP-4 "FORMWORK FOR CONCRETE"
- B) TOLERANCE: ALLOWABLE VARIATION FROM PLUMB TO LEVEL:
1. LESS THAN 20' - 1/2" +/-, GREATER THAN 20' - 3/4" +/-
2. THICKNESS: LESS THAN 12" - 3/8" +/-
- 4) JOINTS & REINFORCEMENT
- A) JOINTS:
1. VERTICAL CONTRACTION JOINTS : TO BE PROVIDED WHEN THE STRAIGHT LENGTH OF WALL (BETWEEN CORNERS) EXCEEDS 3 TIMES THE WALL HEIGHT. HORIZONTAL WALL REINFORCEMENT SHOULD CONTINUE ACROSS THE JOINTS.
2. HORIZONTAL CONTRACTION JOINTS: REQUIRED WHERE ON DAY'S PLACEMENT ENDS
3. COLD JOINTS: SHOULD BE PREVENTED WITH TIMELY DELIVERIES OF CONCRETE AND/OR WITH A VIBRATOR.
4. WEATHERS: MAY BE REQUIRED WHERE GROUND WATER CONDITIONS DICTATE.
- B) REINFORCEMENT:
1. MATERIAL: REINFORCED STEEL SHALL CONFORM TO A.S.T.M. A615 GRADE 60.
2. FABRICATION & PLACEMENT: CONFORM TO CRSI "SPECIFICATIONS FOR PLACING OF REINFORCEMENT."
3. MINIMUM COVER:
- A. FOOTINGS EXPOSED TO EARTH - 3"
- B. WALLS EXPOSED TO EARTH - 1 1/2" (#5 BARS OR SMALLER)
- C. WALLS INTERIOR FACE - 3/4"
- 5) PLACEMENT OF CONCRETE
- A) CONSOLIDATION: CONSOLIDATION OF CONCRETE SHALL BE ACHIEVED WITH THE USE OF INTERNAL VIBRATORS.
- B) ADDITION OF WATER: THE ADDITION OF WATER AT THE JOB SITE IS PERMITTED PROVIDING ONLY SUFFICIENT WATER IS USED TO PROVIDE A WORKABLE MIX AND THE DESIGN WATER CEMENT RATIO AND/OR THE MAXIMUM SLUMP ARE NOT EXCEEDED.
- 6) CURING
- A) WEATHER PRECAUTIONS: ACI RECOMMENDATIONS SHOULD BE STRICTLY FOLLOWED "HOT WEATHER" & "COLD WEATHER" REPAIRING (ACI-308) & ACI-309
- B) CURING: NORMAL CURING TIME IS 7 DAYS. FORMS MAY BE REMOVED DURING THIS PERIOD, AS LONG AS PROPER CURING METHODS ARE USED PER ACI-318.
- 7) MOISTURE CONTROL
- A) WATERPROOFING: APPROVED WATERPROOFING BARRIER CONTINUOUS FROM THE EDGE OF FOOTING TO THE FINISH GRADE LINE SHALL BE PROVIDED AS FOLLOWS.
1. WHERE SOIL CONDITIONS INDICATE THAT THE WALLS COULD BE SUBJECT TO WATER PRESSURE.
2. FOUNDATION WALLS OF HABITABLE ROOMS LOCATED BELOW GRADE SHALL BE WATERPROOFED AS PER O.B.O.A. - SECTION 406.2 OR APPLICABLE LOCAL BUILDING CODE.
3. WATERPROOFING DETAILING AND APPLICATION REQUIREMENTS ASSESSMENTS MAY BE DAMPPROOFED BY APPLYING AN APPROVED BITUMINOUS MATERIAL TO THE WALL FROM THE FOOTING TO THE FINISHED GRADE.
- C) FOUNDATION DRAINAGE: PROVIDE PERFORATED PVC PIPE AT OR BELOW THE BASEMENT FLOOR, BEDDING OR FILL TO CONSIST OF WASHED GRAVEL OR CRUSHED ROCK.
- MINIMUM BEDDING REQUIRED: 2" MINIMUM COVER REQUIRED 6"
- 8) BACKFILLING
- A) BACKFILLING SHOULD NOT BE DONE UNTIL FIRST FLOOR FRAMING IS IN PLACE OR SHORING OF THE WALL IS PROVIDED
- B) BACKFILLING SHOULD BE PLACED IN LIFTS FROM 8" TO 15" IN DEPTH
- C) COMPACT BY USE OF FLOODING OR ANY OTHER KIND OF WATER INFILTRATION WILL NOT BE PERMITTED.
- D) BACKFILLING SHOULD BE TAKEN TO PREVENT DAMAGE TO WATERPROOFING AND DRAINAGE SYSTEMS.
- E) BACKFILL MATERIAL SHOULD HAVE SUFFICIENT INHERENT PERMEABILITY TO INSURE ADEQUATE DRAINAGE OF RAIN WATER BEHIND THE WALLS.
- F) BACKFILLING SHOULD NOT BE PLACED ON FROZEN GROUND NOR SHOULD IT CONTAIN ANY FROZEN MATERIAL.
- G) THE PREFERRED MATERIAL FOR USE AS BACKFILL WILL BE GRANULAR SOILS SUCH AS SAND, GRAVEL, AND CRUSHED STONE.
- H) FINAL GRADING OF SITE SHOULD SLOPE AWAY FROM BUILDING AT NO LESS THAN ONE QUARTER OF INCH PER FOOT.
- I) HEIGHT OF BACKFILL:
1. MIN. OF 8" BELOW TOP OF FOUNDATION WALL
2. MIN. OF 4" BELOW TOP OF FOUNDATION WALL W/ BRICK VENERE.
- 9) PLAIN CONCRETE (UN-REINFORCED)
- A) S/AID WALLS SHOULD NOT BE USED UNDER THE FOLLOWING CONDITIONS:
1. LOCATED IN SEISMIC ZONE #2, #3, OR #4
2. WHEN THERE IS A PERMANENT WATERTABLE BELOW THE WALL.
3. THE INTENDED BACKFILL IS CLAY OR OTHER EARTH SPILLS WITH PLASTICITY INDEX GREATER THAN 10) AS DETERMINED BY A REPUTABLE SOILS TESTING LABORATORY.

SQUARE FOOTAGE PER UNIT

FIRST FLOOR PLAN = 710 SQ.FT.
SECOND FLOOR PLAN = 921 SQ.FT.
TOTAL = 1631 SQ.FT.

GARAGE = 418 SQ.FT.
COVERED FRONT PORCH = 24 SQ.FT.
ENCLOSED REAR PORCH = 112 SQ.FT.

FINISHED SQUARE FOOTAGE BASED ON
AMERICAN NATIONAL STANDARD FOR SINGLE-FAMILY RESIDENTIAL
"SQUARE FOOTAGE - METHOD FOR CALCULATING"
ANSI - ZF69-2003

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE
WERE MADE BASED ON PLANS AND DIMENSIONS AND MAY VARY
FROM FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

FINISHED SQUARE FOOTAGE BASED ON
AMERICAN NATIONAL STANDARD FOR SINGLE-FAMILY RESIDENTIAL
"SQUARE FOOTAGE - METHOD FOR CALCULATING"
ANSI - Z765-2003

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE
WERE MADE BASED ON PLAN DIMENSIONS AND MAY VARY
FROM FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

WALL LEGEND

1/2 WALL = 

FRAMED WALL = 

CONCRETE FOUNDATION
WALL WITH FOOTER = 

CONCRETE FOUNDATION WALL
WITH 2" INTERIOR LEDGE = 

CONCRETE FOUNDATION WALL :
WITH 2" INTERIOR LEDGE = !

2- UNIT VILLAS
PORT CLINTON, OHIO

**BASSETT
LAND COMPANY LLC.**

[illegible]

SCALE: 1" = 20'



DGL CONSULTING ENGINEERS, LLC
123 B MAPLE STREET
PORT CLINTON, OH 43452
PHONE: 419.635.7541
www.dgl-ltd.com

LANDINGS ON ERIE CONDOMINIUM

PART OF SECTION 4, T6N, R17E AND PART OF SECTION 33,
T7N, R 17E, PORTAGE TOWNSHIP,
OTTAWA COUNTY OHIO

SURVEY

Initial Declaration.dwg

JOB NO.: 23388

DRAWN BY: PJS

4

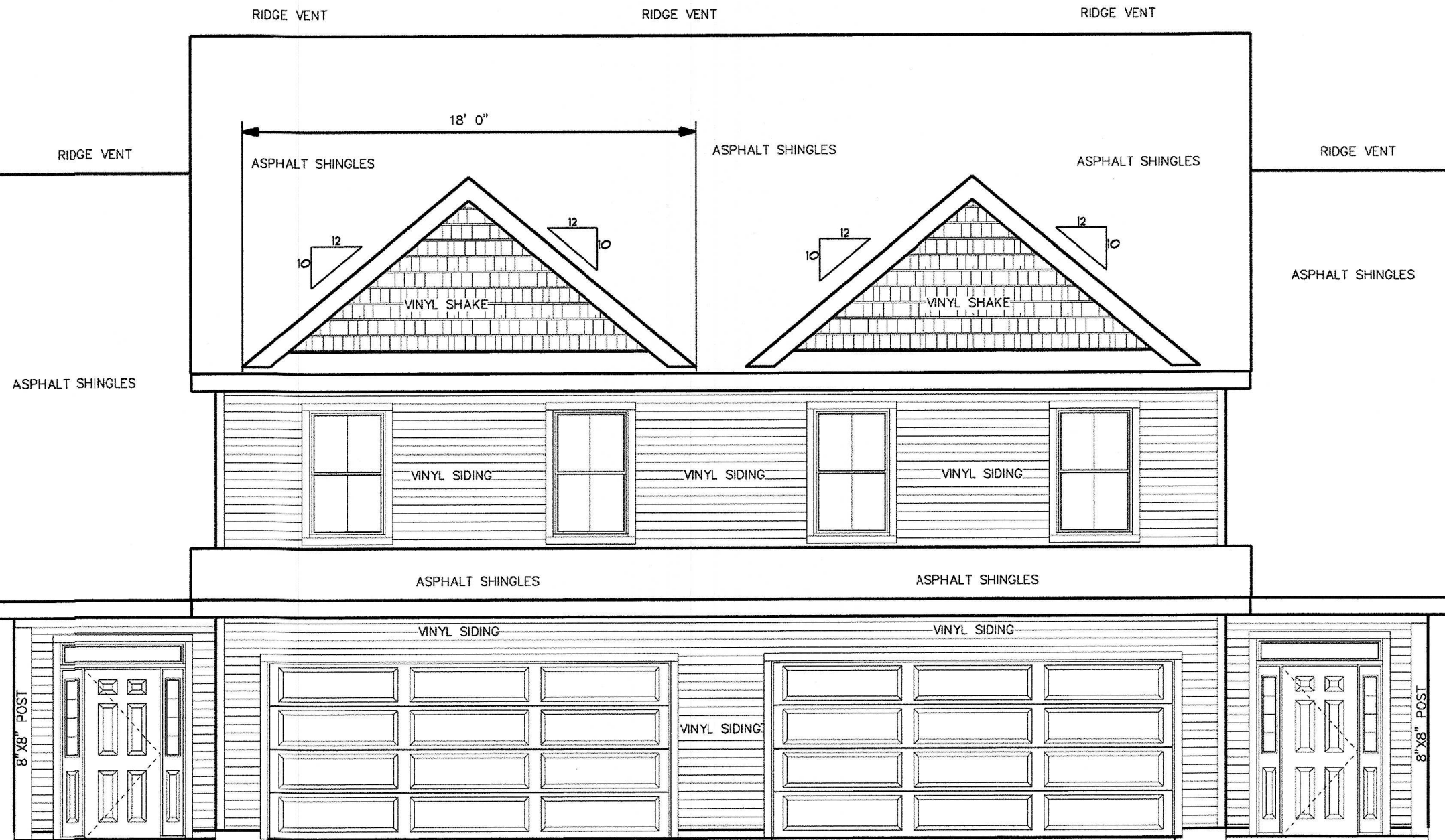
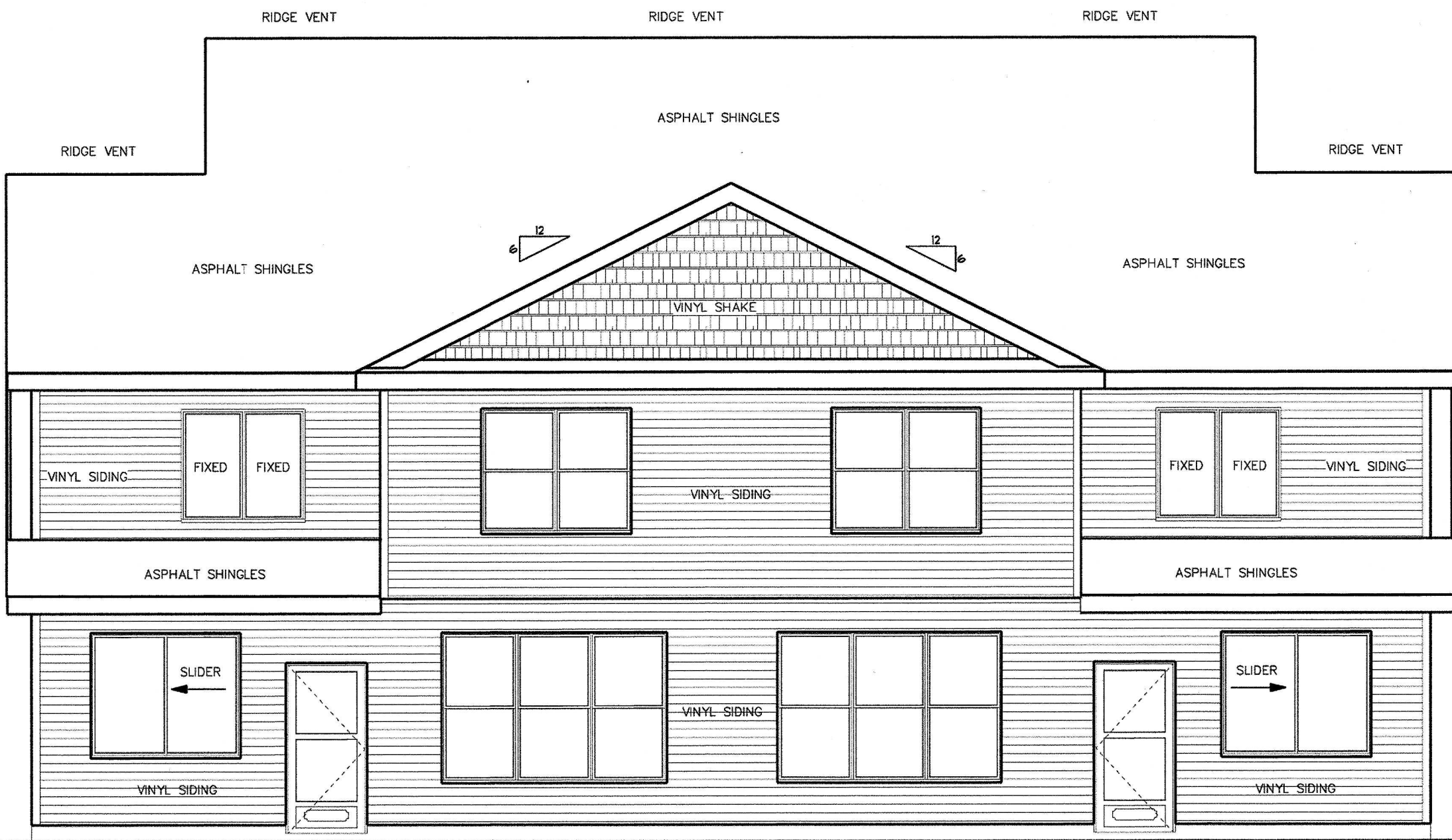
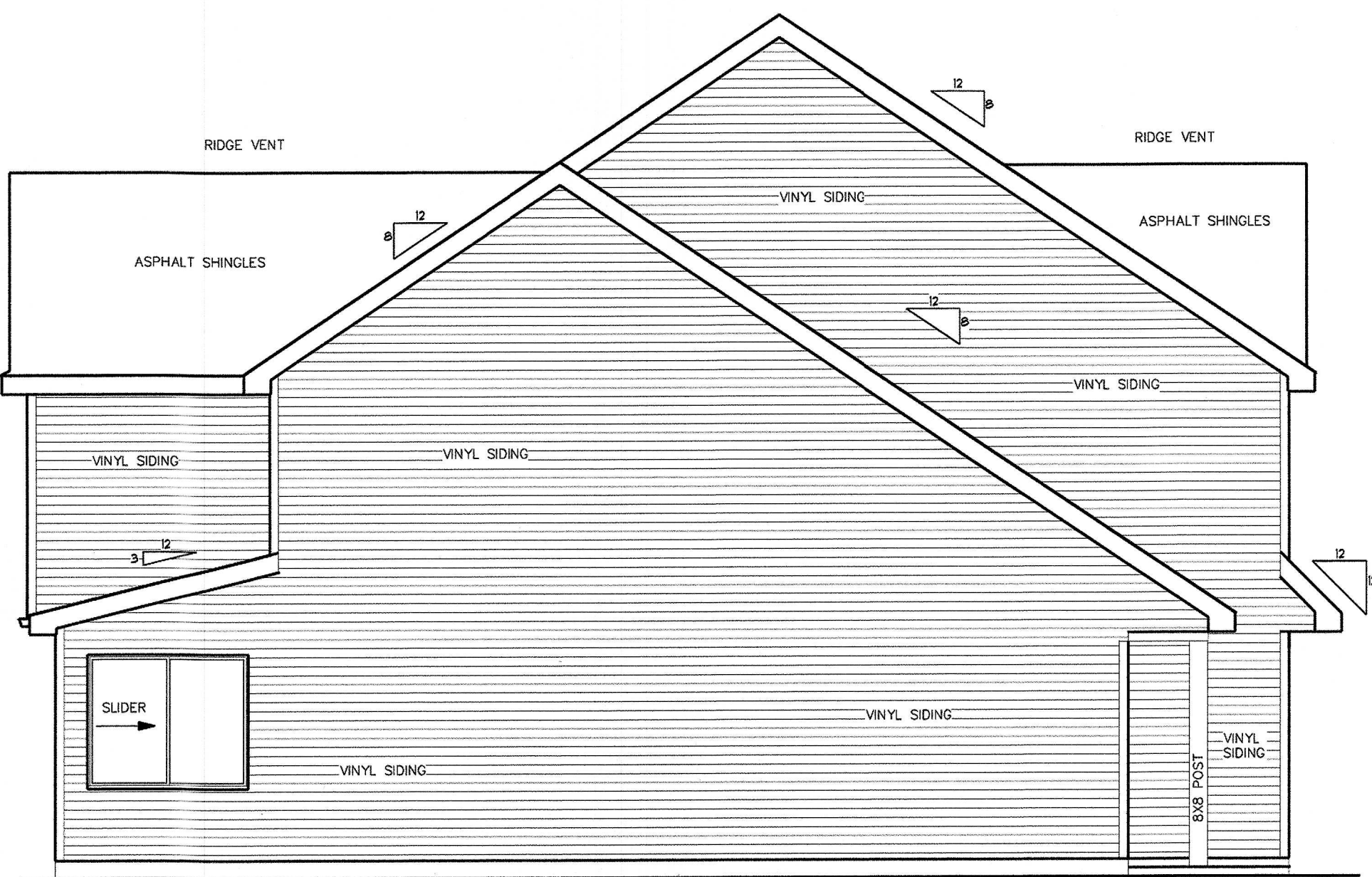


Diagram of the front elevation of a house. The drawing shows a symmetrical facade with a central gabled section and two side wings. The roof is gabled with a central peak. The front facade features a central entrance with a small porch, flanked by windows. The side wings also have windows. The drawing is labeled with "LEFT UNIT" and "RIGHT UNIT" at the top corners, "FRONT ELEVATION" in the center, and "UNIT 7" and "UNIT 8" at the bottom corners. A scale bar indicates "SCALE: 1/4" = 1'-0"



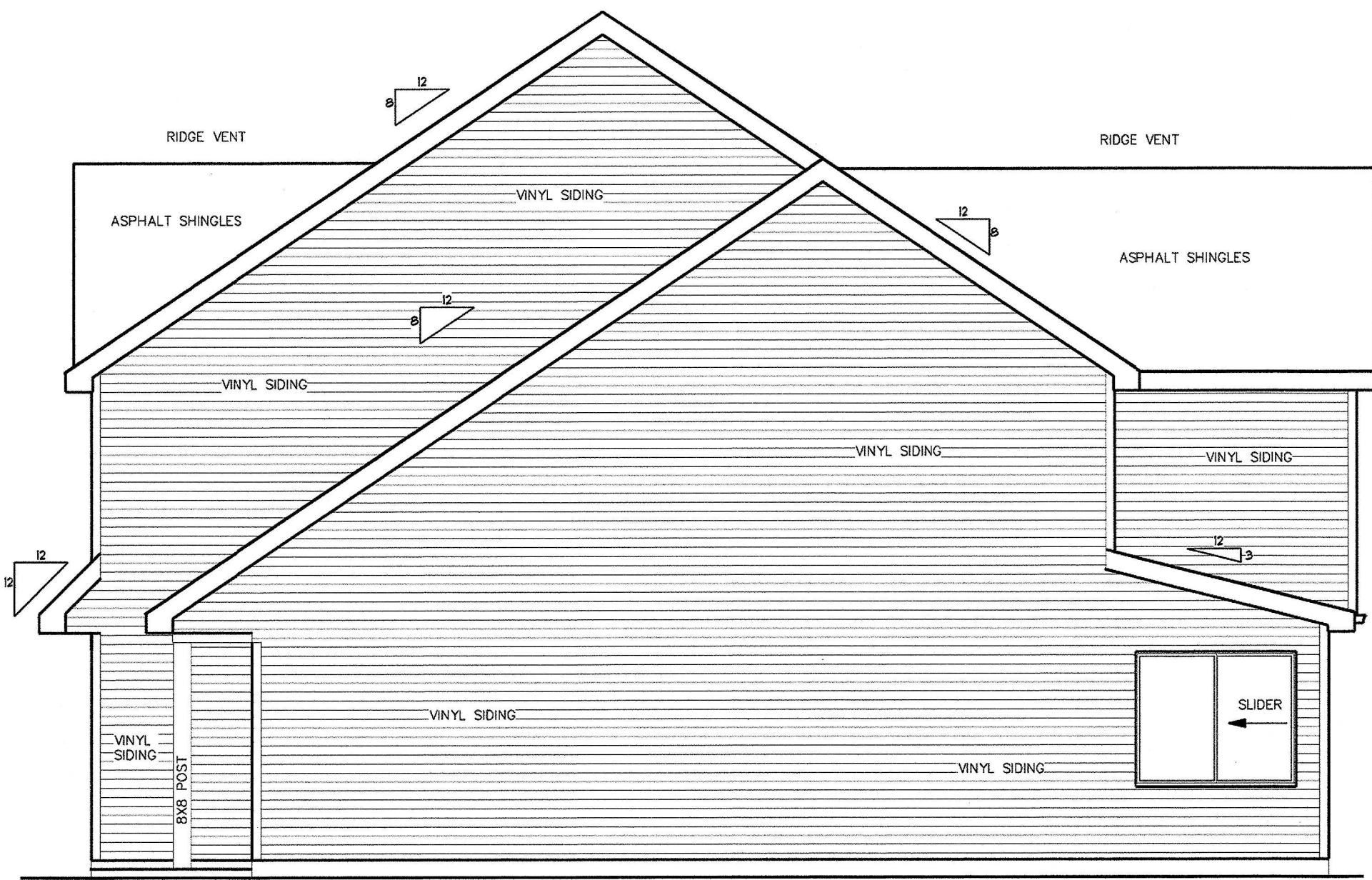
REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



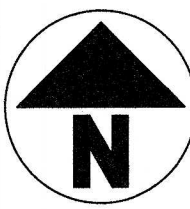
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

2- UNIT VILLAS
PORT CLINTON, OHIO

**BASSETT
LAND COMPANY LLC.**

		SCALE — 1/4" = 1'0"	
	NO.	DESCRIPTION	DATE
2 / 5	1	CUSTOM BUILDING PLANS	07/29/23
	2	FINAL CUSTOM BUILDING PLANS	07/30/23



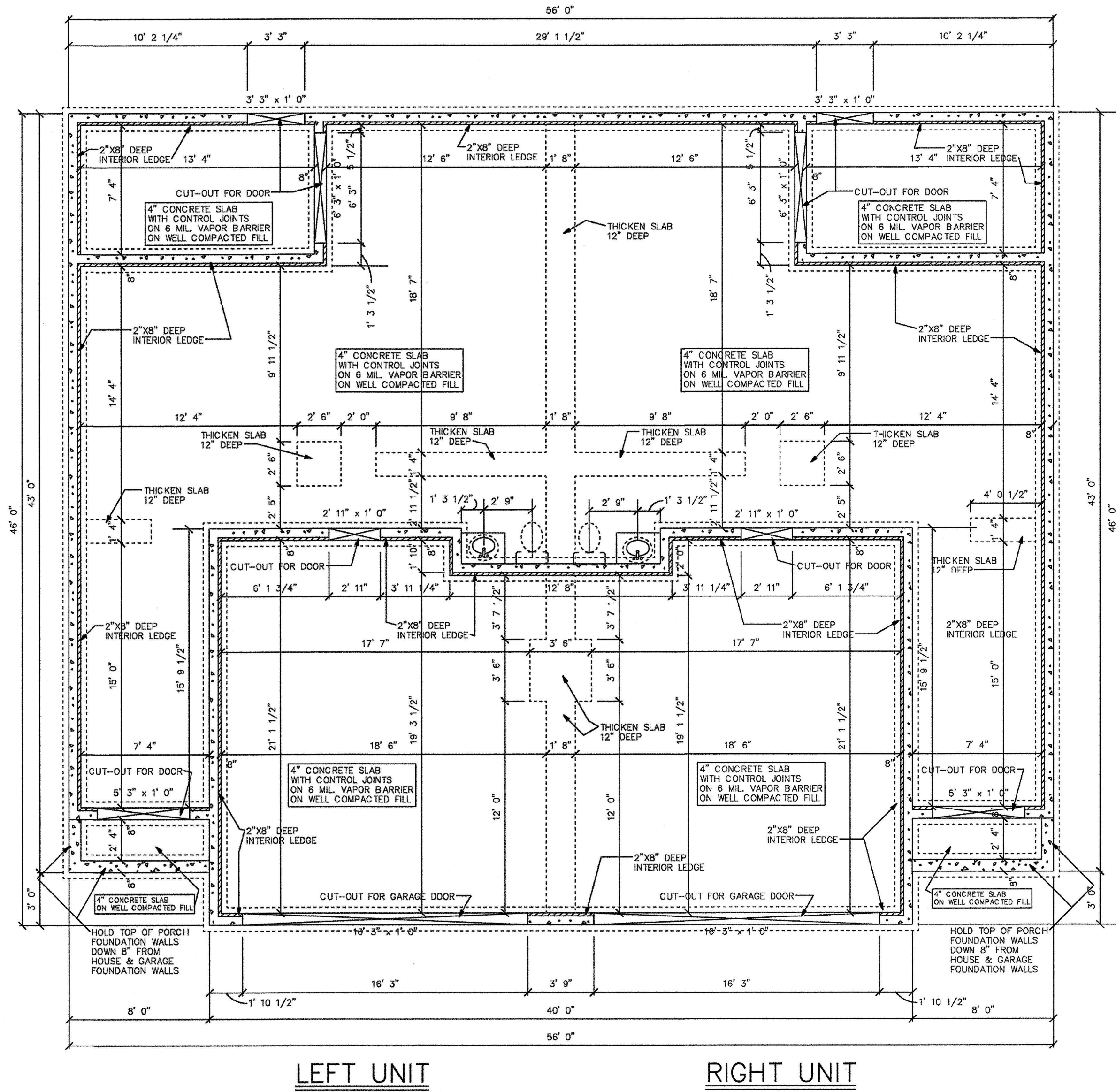
DGL CONSULTING ENGINEERS, LLC
123 B MAPLE STREET
PORT CLINTON, OH 43452
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www.dgl-ltd.com

LANDINGS ON ERIE CONDOMINIUM

PART OF SECTION 4, T6N, R17E AND PART OF SECTION 33,
T7N, R 17E, PORTAGE TOWNSHIP,
OTTAWA COUNTY, OHIO

SURVEY

JEE Initial Declaration.dwg	
JOB NO.:	23388
DRAWN BY:	PJS
ISSUED:	03/04/2025



FOUNDATION FLOOR PLAN

SCALE: 1/4" = 1'-0"

UNIT 7
UNIT 12

UNIT 8
UNIT 13

PLUMBING SUPPLY AND DRAIN LOCATIONS
TBD ON SITE BY PLUMBER AND
BUILDER AND INSTALLED AND VERIFIED
PRIOR TO CONCRETE SLAB INSTALLATION.

2- UNIT VILLAS
PORT CLINTON, OHIO

**BASSETT
LAND COMPANY LLC.**

SCALE - 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	CUSTOM BUILDING PLANS	07/20/23
2	FINAL CUSTOM BUILDING PLANS	07/30/23
3		
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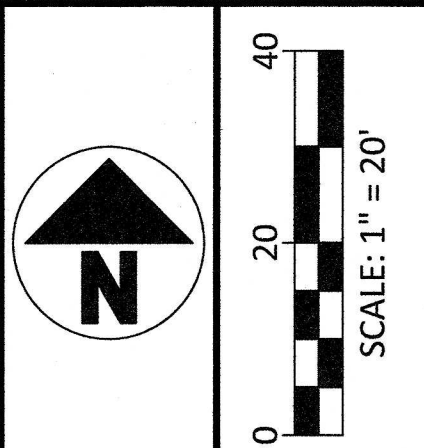
**LANDINGS ON ERIE
CONDOMINIUM**

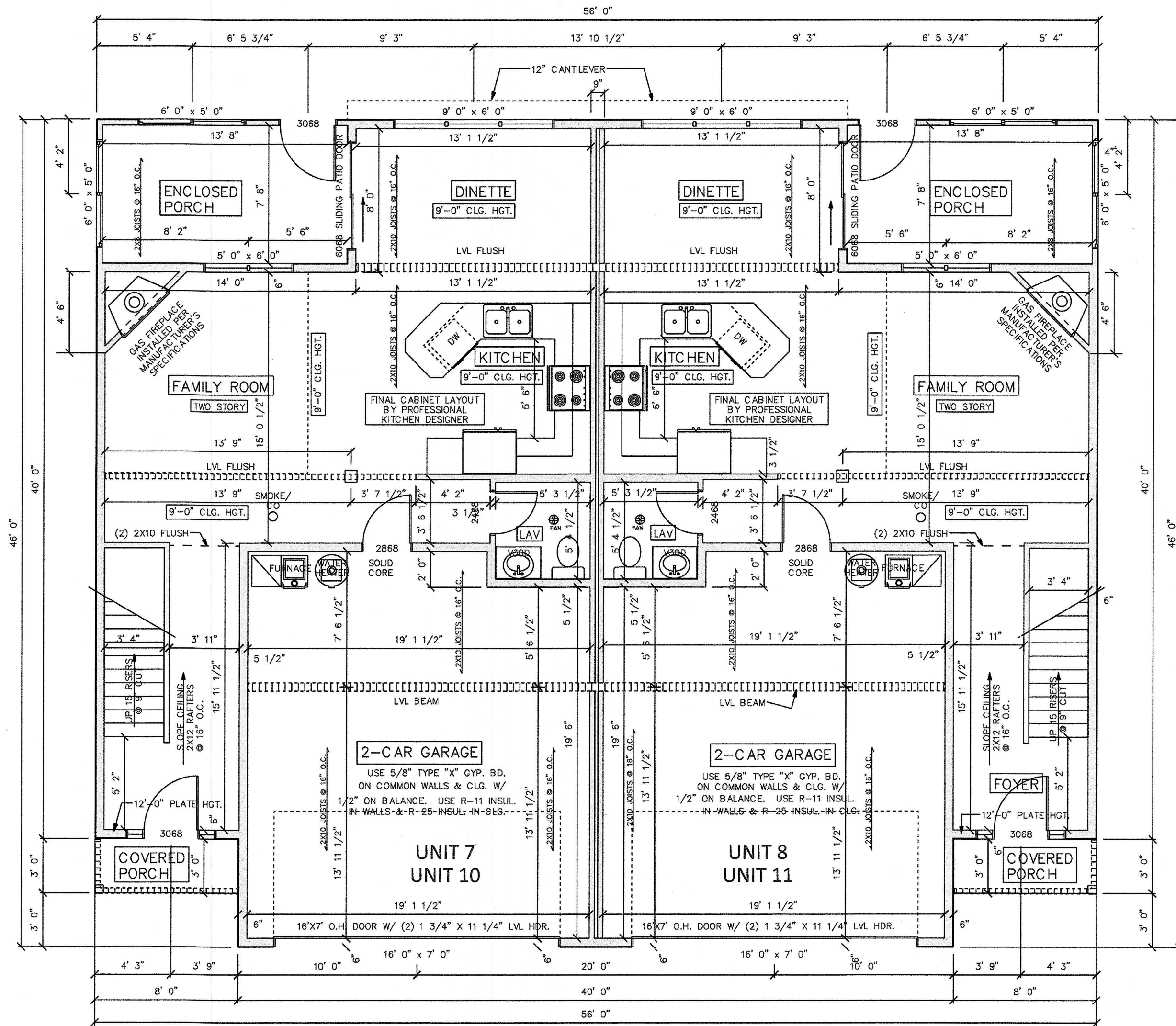
PART OF SECTION 4, T6N, R17E AND PART OF SECTION 33,
T7N, R 17E, PORTAGE TOWNSHIP,
OTTAWA COUNTY, OHIO

Initial Declaration.dwg
JOB NO.: 23388
DRAWN BY: PJS
ISSUED: 03/04/2025

DGL
DESIGN GROUP LLC
DGL CONSULTING ENGINEERS, LLC
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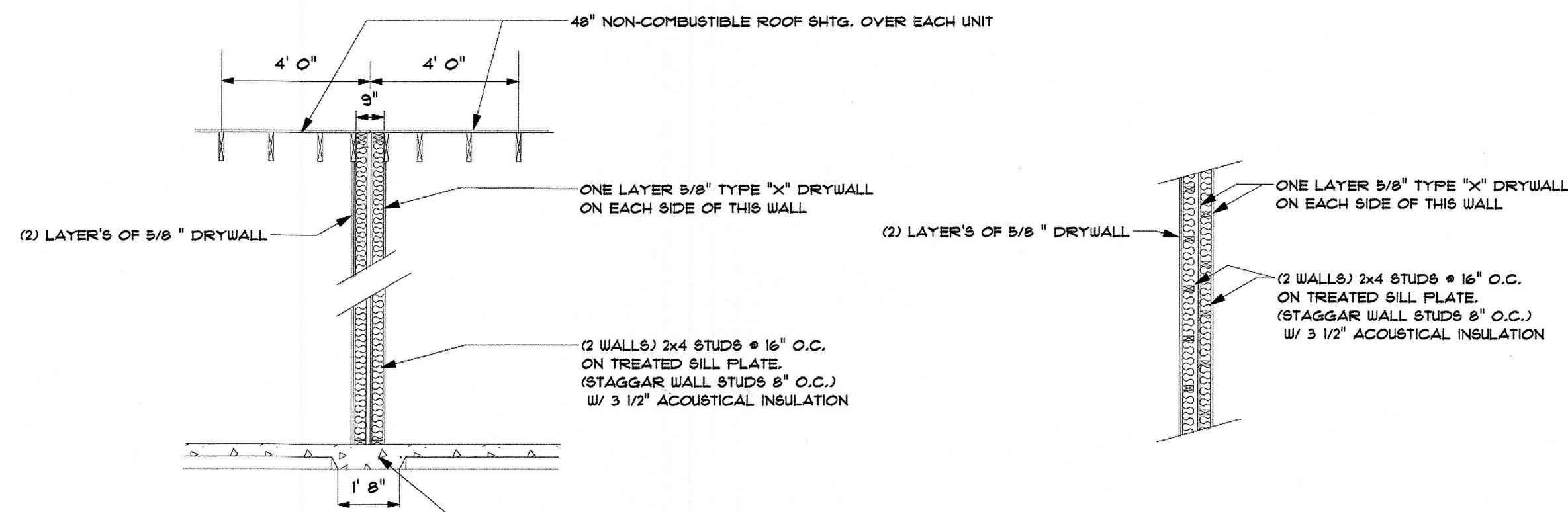
NO	REVISION	DATE
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LEFT UNIT RIGHT UNIT
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



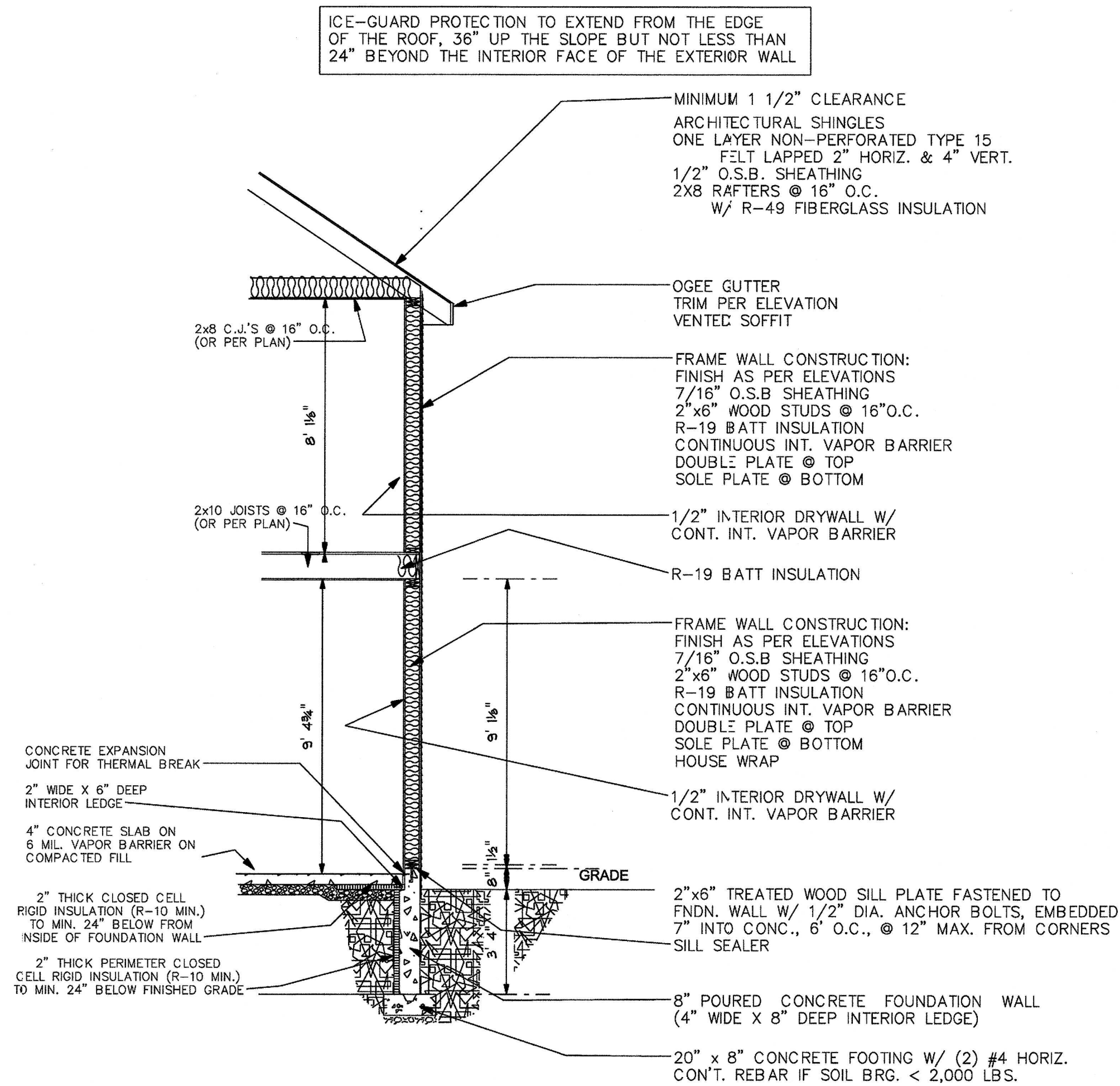
LEFT UNIT & RIGHT UNIT
COMMON WALL SECTION

COMMON WALL (2-HR RATED)
SCALE: 3/8" = 1'-0"

LEFT UNIT & RIGHT UNIT
COMMON WALL HORIZONTAL
SECTION WALL DETAIL

COMMON WALL (2-HR RATED)
SCALE: 3/8" = 1'-0"

Following: "The Ohio Home Builder's Association (OHBA)
Alternative Energy Code Option"



TYPICAL WALL SECTION

SCALE: 3/8" = 1'-0"

2- UNIT VILLAS
PORT CLINTON, OHIO

BASSETT
LAND COMPANY LLC.

SCALE - 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	CUSTOM BUILDING PLANS	07/20/23
2	FINAL CUSTOM BUILDING PLANS	07/30/23

4
5

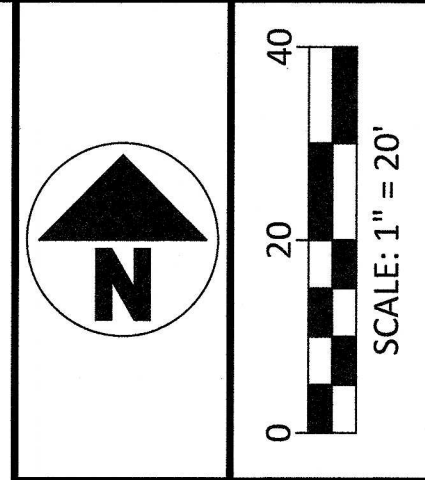
LANDINGS ON ERIE
CONDOMINIUM

PART OF SECTION 4, T6N, R17E AND PART OF SECTION 33,
T7N, R 17E; PORTAGE TOWNSHIP,
OTTAWA COUNTY, OHIO

SURVEY



NO	REVISION	DATE
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