

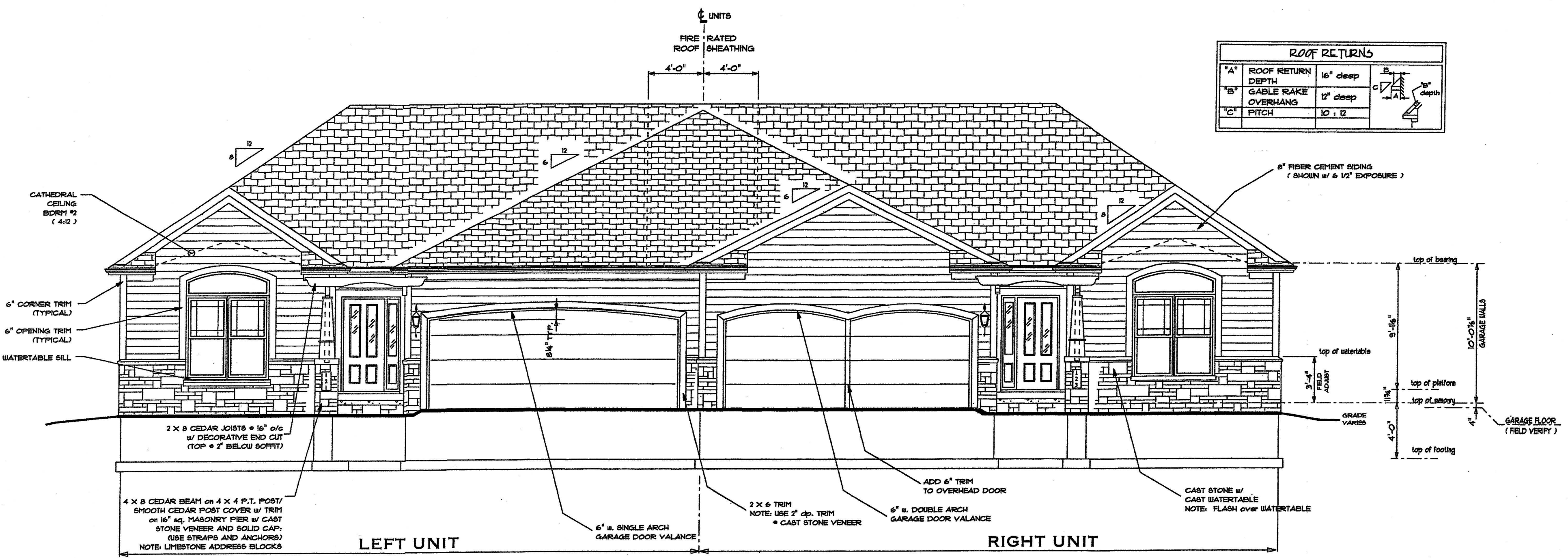
VILLA'S AT LEMARIN CONDOMINIUMS 22

Being a parcel of land situated in part of Lot Thirteen (13) in the Residences of LeMarin Subdivision No. 1, Plat Volume 18, Page 21A in Section Three (3) of the Firelands Survey, Catawba Island Township, Ottawa County, Ohio.

Surveyors
Engineers
Architects
KUSMER & ASSOCIATES, INC.
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VILLA'S AT LE MARIN CONDOMINIUMS

Drawn: RNR	Date: 03-25-04	Check:	Date:
By: RNR	Revision:	By:	Revision:
PLOT DATA: March 21, 2004		04-02 AM	
BOLTE PREL. 02-21		COSOPC No.	



SQUARE FOOTAGE CHART

DESCRIPTION (LEFT SIDE)	SQ. FT.G.
1st FLOOR*	1,814
GARAGE	465
COVERED PORCH	26
PATIO (COVR'D/UNCOVR'D)	50/16
*TOTAL LIVING SPACE	1,814

CALCULATED PER ANSI Z-765-1996 USING PLANS

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE CHART

DESCRIPTION (RIGHT SIDE)	SQ. FT.G.
1st FLOOR*	1,814
GARAGE	520
COVERED PORCH	26
PATIO (COVR'D/UNCOVR'D)	50/16
*TOTAL LIVING SPACE	1,814

CALCULATED PER ANSI Z-765-1996 USING PLANS

SURVEYOR'S CERTIFICATION

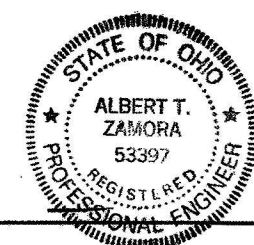
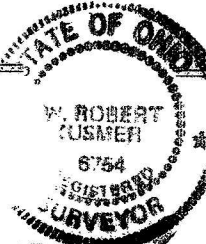
I HEREBY CERTIFY THAT THE SET OF DRAWINGS OF THE VILLAGS AT LEMARIN CONDOMINIUM ACCURATELY REFLECTS THE LOCATION OF THE IMPROVEMENTS AND RECORDED EASEMENTS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

W Robert Kusmer 4/21/05
W. ROBERT KUSMER P.S. #6754

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THE SET OF DRAWINGS OF THE VILLAGS AT LEMARIN CONDOMINIUM PROPERTY ACCURATELY SHOWS EACH BUILDING AS BUILT OR CONSTRUCTED, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Albert T. Zamora 4/21/05
ALBERT T. ZAMORA P.E. #53397



DRAWN BY: RNR
INITIAL ISSUE: 03.25.04
REVISION:
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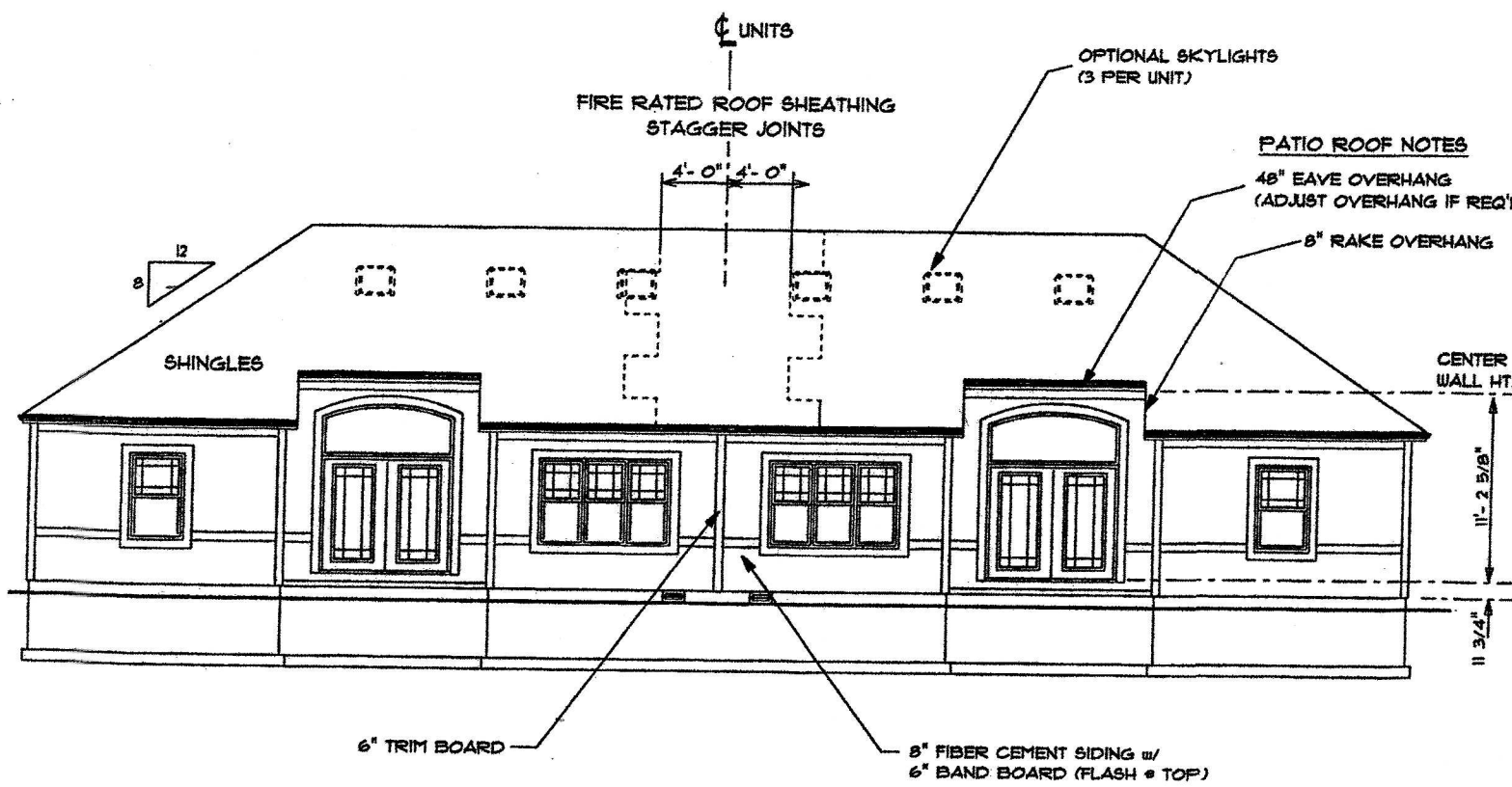
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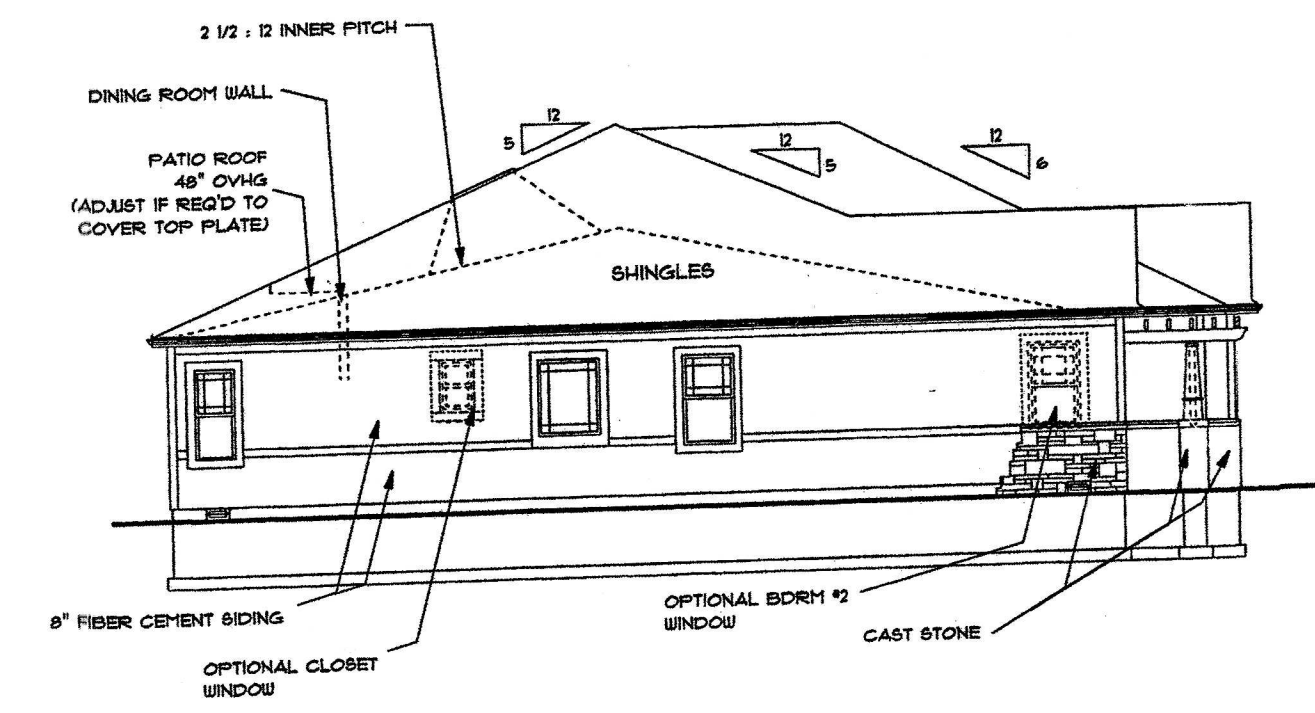
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Rev - 0
DATE: 04-08-2005
03107E

VILLA'S AT LEMARIN CONDOMINIUMS 23

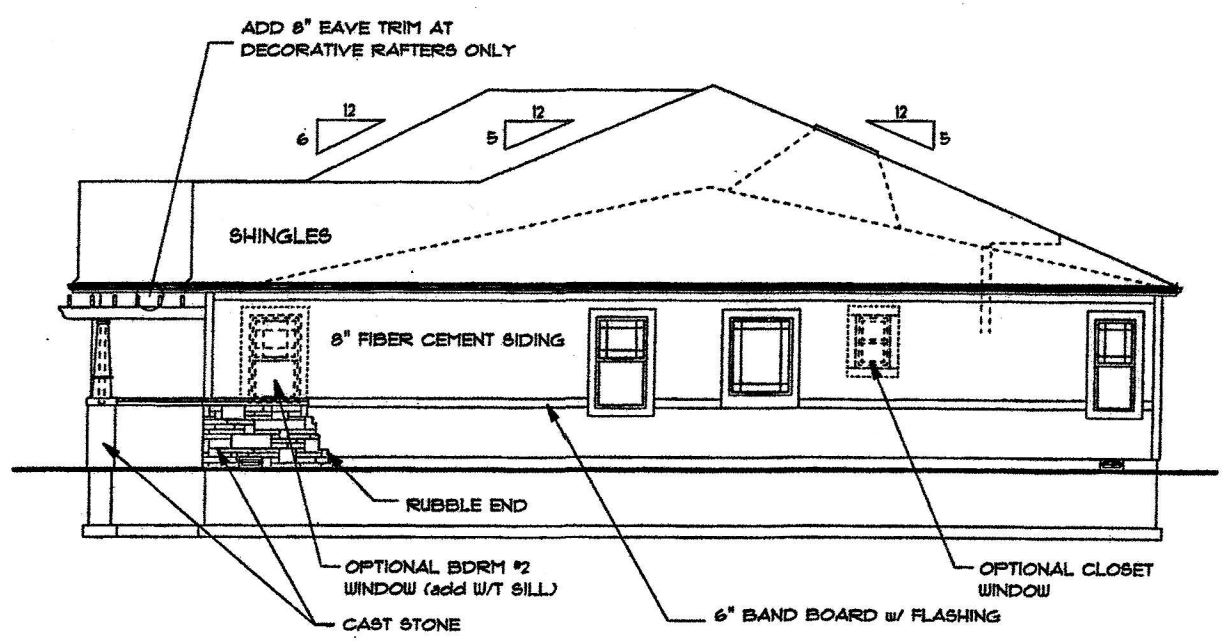
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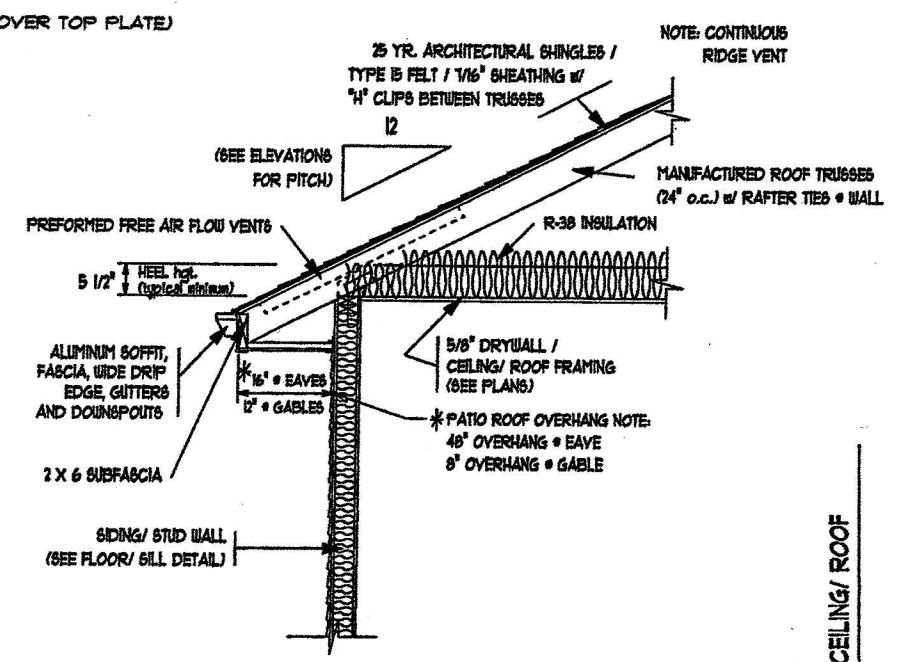
REAR ELEVATION
SCALE: 1/8" = 1'-0"



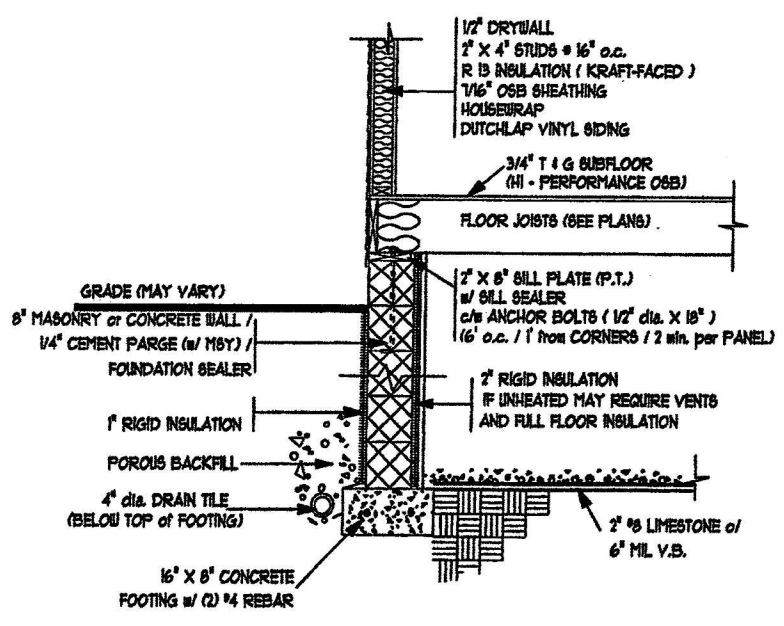
LEFT ELEVATION
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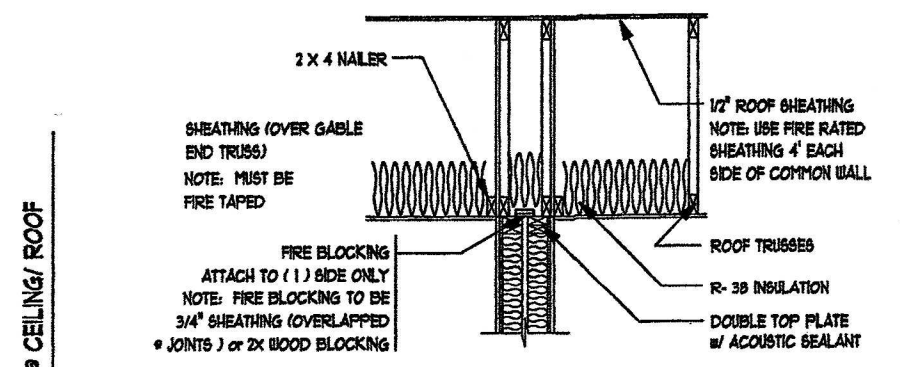
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



EAVE DETAIL - SIDING
SCALE: 1/2" = 1'-0"



FOUNDATION @ CRAWL SPACE DETAIL
SCALE: 1/2" = 1'-0"



COMMON WALL SECTION @ SILL & ROOF
SCALE: 1/2" = 1'-0"

GENERAL NOTES
(UNLESS OTHERWISE NOTED)

THESE WORKING DRAWINGS ARE TO BE USED IN CONNECTION WITH AND ACCORDANCE TO LOCAL BUILDING CODES & ORDINANCES, RESERVING THOSE RESPONSIBILITIES TO THE SOLE RESPONSIBILITY OF THE BUILDER, "CABO ONE AND TWO FAMILY DWELLING CODE - 1995 EDITION" HAS BEEN USED AS A REFERENCE FOR THE PREPARATION OF THESE DRAWINGS.

DESIGN LOADS USED (1/ 60. FT.)
STANDARDS USED, MAY NOT REFLECT ACTUAL CONDITIONS OR REQUIREMENTS

- SOIL BEARING: 2000
- FLOOR LOADS:
 - DWELLING 40 LL / 10 DL (L260)
 - SLEEPING 30 LL / 10 DL (L260)
- ROOF LOADS: 20 LL / 10 DL / 0 CL (L240)
- WIND PRESSURE: 14 SO (PH) 16.4
- SEISMIC CONDITION: I

BASEMENT / FOUNDATION

- BEAM CENTERLINES SHOWN INDICATE $\frac{1}{2}$ OF WALLS ABOVE AND MAY NEED TO BE OFFSET TO CLEAR STAIRS, WALLS, ETC.
- VERIFY ALL DRAIN, EQUIPMENT AND UTILITY LOCATIONS AND ENTRIES
- INSULATION AS REQUIRED

CONCRETE

- SLABS TO BE CUT @ 20' (max.) INTERVALS
- EXTERIOR SLABS SLOPED @ 1/4" PER FOOT

MASONRY

- ANCHOR BOLTS @ 6' o.c. and 1' from CORNERS, (2) min. per panel
- GROUT AND REINFORCE CORES (FULL HEIGHT, 14 REBAR) @ ANCHOR BOLT LOCATIONS and as REQUIRED BY SITE CONDITIONS & DESIGNED IN ACCORDANCE w/ ACCEPTED MASONRY & ENGINEERING PRACTICE.
- BLOCK CORES UNDER AND ADJACENT TO POINT LOADS to be SOLID MASONRY or GROUTED & REINFORCED FULL HEIGHT.
- 4" x 12" MASONRY BEARING PILASTERS SHALL BE TIED TO WALL

ROUGH FRAMING

- THIS STRUCTURE WILL BE BUILT USING PANELIZED CONSTRUCTION
- 1/2" typical WIDTH PANELS (20' max.)
- ADJACENT PANEL STUDS GLUED & NAILED
- BOTTOM PLATES GLUED & NAILED TO SUBFLOOR
- WOOD MEMBERS TO BE 92 6PF or BETTER
- ENGINEERED WOOD JOISTS TO BE "STARK-4" BY STARK TRUSS COMPANY, INC. (IN CONTINUOUS SPANS)
- HEADERS TO BE (2) 2 X 10 w/ 1/4" OSB SHEATHING
- LVL HEADERS BASED ON "MASTER PLANK" LVL BY FINNFOREST (2.0 E, Fb 2900 psi)
- ADD SOLID BLOCKING UNDER BEARING LOADS
- ALL WOOD (IN - WALL) POSTS to be BLOCKED / BRACED @ MIDPOINT
- STANDARD HEADERS, VALLEYS, RIDGES, DOUBLES, ETC. MAY NOT BE SHOWN
- LOADING NOT SPECIFICALLY INDICATED WILL AFFECT STRUCTURAL SIZES NOTED
- ROOF TRUSS LOADS ASSIGNED to be on EXTERIOR WALLS w/ NO CONCENTRATED LOADS OVER OPENINGS, HP GIRDERS TRUSSES ASSIGNED to be 6' from EXTERIOR WALL SURFACES.
- ROOF TRUSS NOTES on THESE DRAWINGS ARE FOR THE PURPOSE OF GENERAL LAYOUT ONLY. ROOF TRUSS MANUFACTURER to SUPPLY INSTALLATION DIAGRAMS. VARIATIONS FROM ASSUMPTIONS SHOWN on THESE DRAWINGS MAY MODIFY FRAMING MEMBER SIZES.
- TRUSS TIES TO BE USED on ALL TRUSSES to EXTERIOR WALL CONNECTIONS.

ELEVATIONS

- ALL FINAL GRADES MUST BE VERIFIED BEFORE START OF CONSTRUCTION.
- FOOTING DEPTHS TO MEET LOCAL REQUIREMENTS
- VERTICAL STEPS IN FOOTINGS TO BE 2'-0" (max.) w/ CONTINUOUS REINFORCEMENT
- DECKS, RAILINGS, STAIRS MAY BE SHOWN DASHED on ELEVATIONS FOR CLARITY
- WINDOW HEADER HEIGHTS SHOWN @ 6'-0" to 1/2"
- TRUSS HEEL HEIGHT SHOWN @ 5 1/2"
- EXTERIOR STAIR & RELATED FOOTINGS AS REQUIRED.

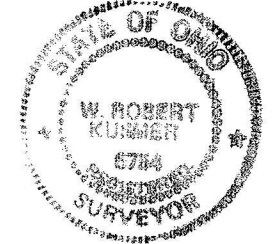
ROOFING

- ICE & WATER SHIELD (36" wide) SHALL BE INSTALLED @ ALL ROOF EAVES
- VALLEYS SHALL BE WOVEN SHINGLES or ICE & WATER SHIELD
- WALLS WHICH INTERSECT ROOF SHALL BE STEP FLASHED
- 1/16" ROOF SHEATHING SHALL USE METAL CLIPS BETWEEN TRUSSES
- RIDGE & EAVE VENTS TO BE INSTALLED per CODE REQUIREMENTS

SURVEYOR'S CERTIFICATION

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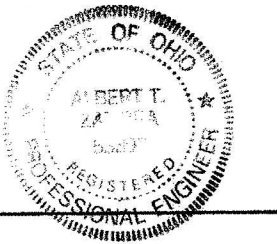
W. Robert Kusmer 4/21/05
W. ROBERT KUSMER P.S. #6754



ENGINEER'S CERTIFICATION

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Albert T. Zamora 4/21/06
ALBERT T. ZAMORA P.E. #53397



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5840 COUNTY RD. 201, MILLERSBURG, OHIO 44654
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VILLA'S AT LEMARIN CONDOMINIUMS
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Drawn: RNR
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 By: []
 Revision: []
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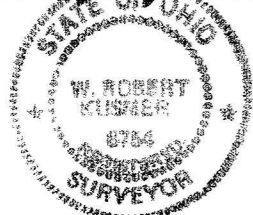
4 of 6
 Rev - 0
 03107E

NOTE
 DIMENSIONS USED ON DRAWINGS
 (UNLESS OTHERWISE NOTED)
 • MASONRY WALLS - 8"

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SET OF DRAWINGS OF THE VILLAGES AT LE MARIN CONDOMINIUM PROPERTY ACCURATELY REFLECTS THE LOCATION OF THE IMPROVEMENTS AND RECORDED EASEMENTS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

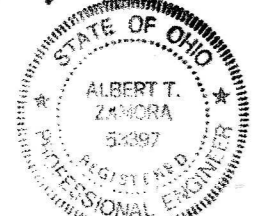
W. Robert Kusmer 4/24/05
 W. ROBERT KUSMER P.S. #6754



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Albert T. Zamora 4/24/05
 ALBERT T. ZAMORA, P.E. #53397



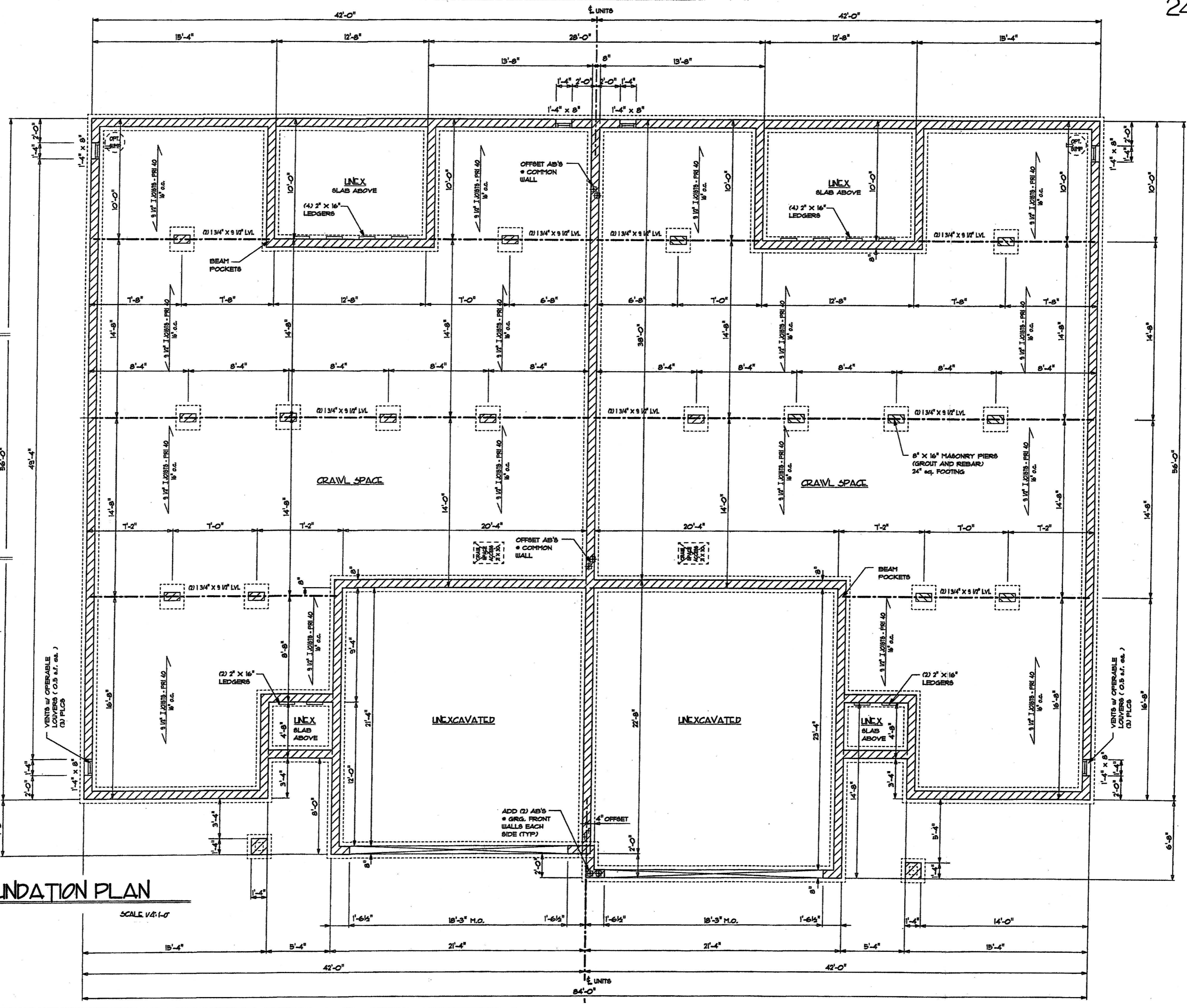
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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



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VILLAGES AT LE MARIN CONDOMINIUMS

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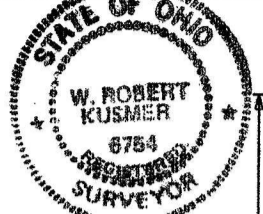
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5 of 6
Rev - 0
 03-09-2005
 03107E

SURVEYOR'S CERTIFICATION

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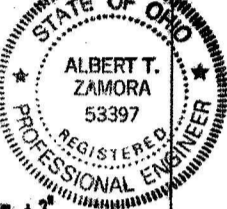
W Robert Kusmer 4/21/05
 W. ROBERT KUSMER P.S. #6754



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Albert T. Zamora 4/21/05
 ALBERT T. ZAMORA P.E. #53997



NOTE

DIMENSIONS USED ON DRAWINGS (UNLESS OTHERWISE NOTED)

- EXTERIOR STUD WALLS - 4"
- EXT. WALLS w/ FAUX STONE - 4" NOM. + 2" (BEYOND DIMENSIONED FACE)
- INTERIOR WALLS - 3 1/2"

* TRUSS MANUFACTURER'S NOTE ALLOW FOR CONTINUOUS 5/8" DRYWALL TO H/OP SHEATHING

NOTE: ROUGH OPENINGS INDICATED ARE FOR CERTAINTED WINDOWS AND GLIDING DOOR. NOTE: SPECIAL GRILLES

FIRST FLOOR PLAN

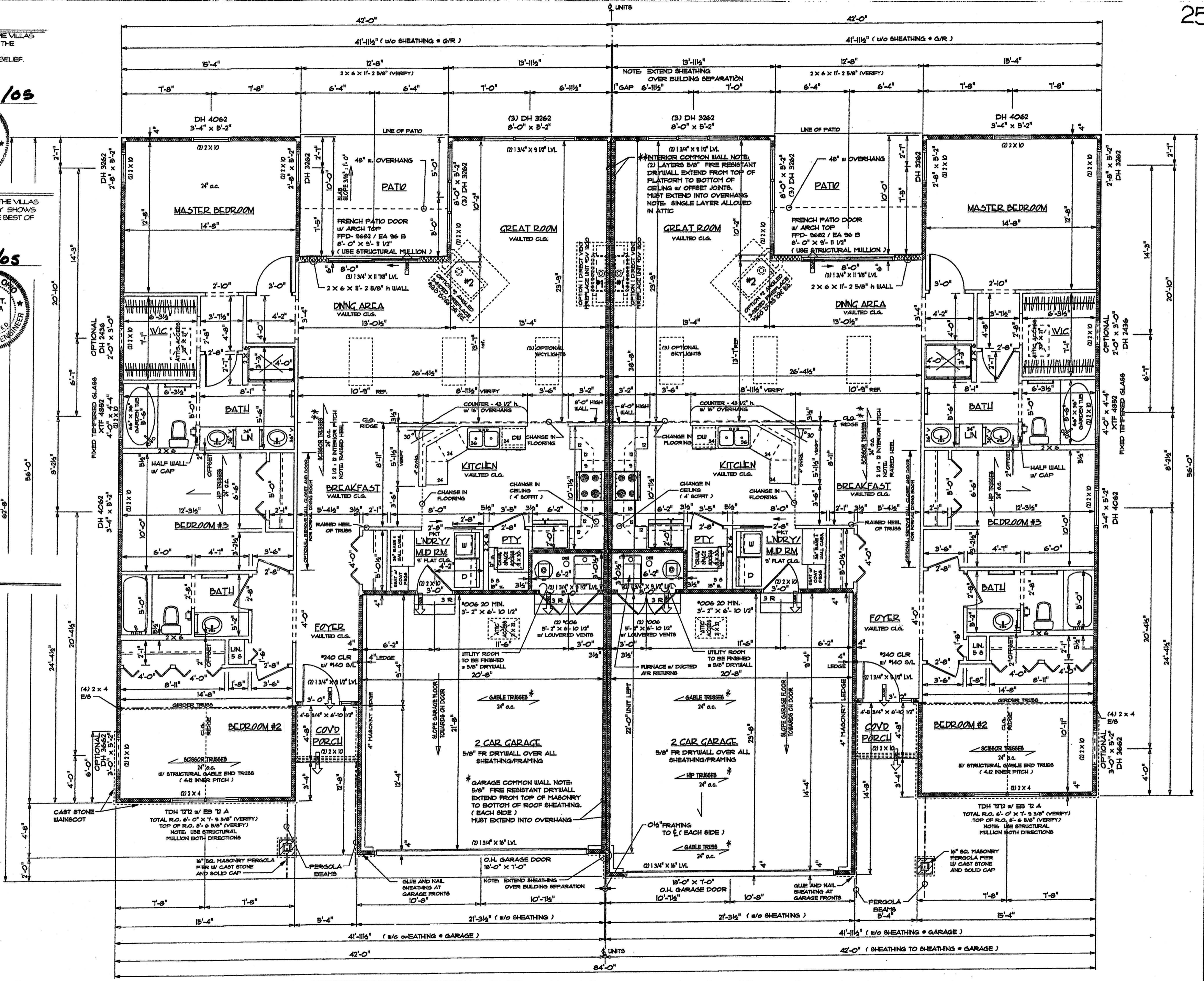
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 E-MAIL: kuser@kuserassociates.com

VILLAS AT LE MARIN CONDOMINIUMS

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Revised	By	Date		Check	
COSOFC No.					

