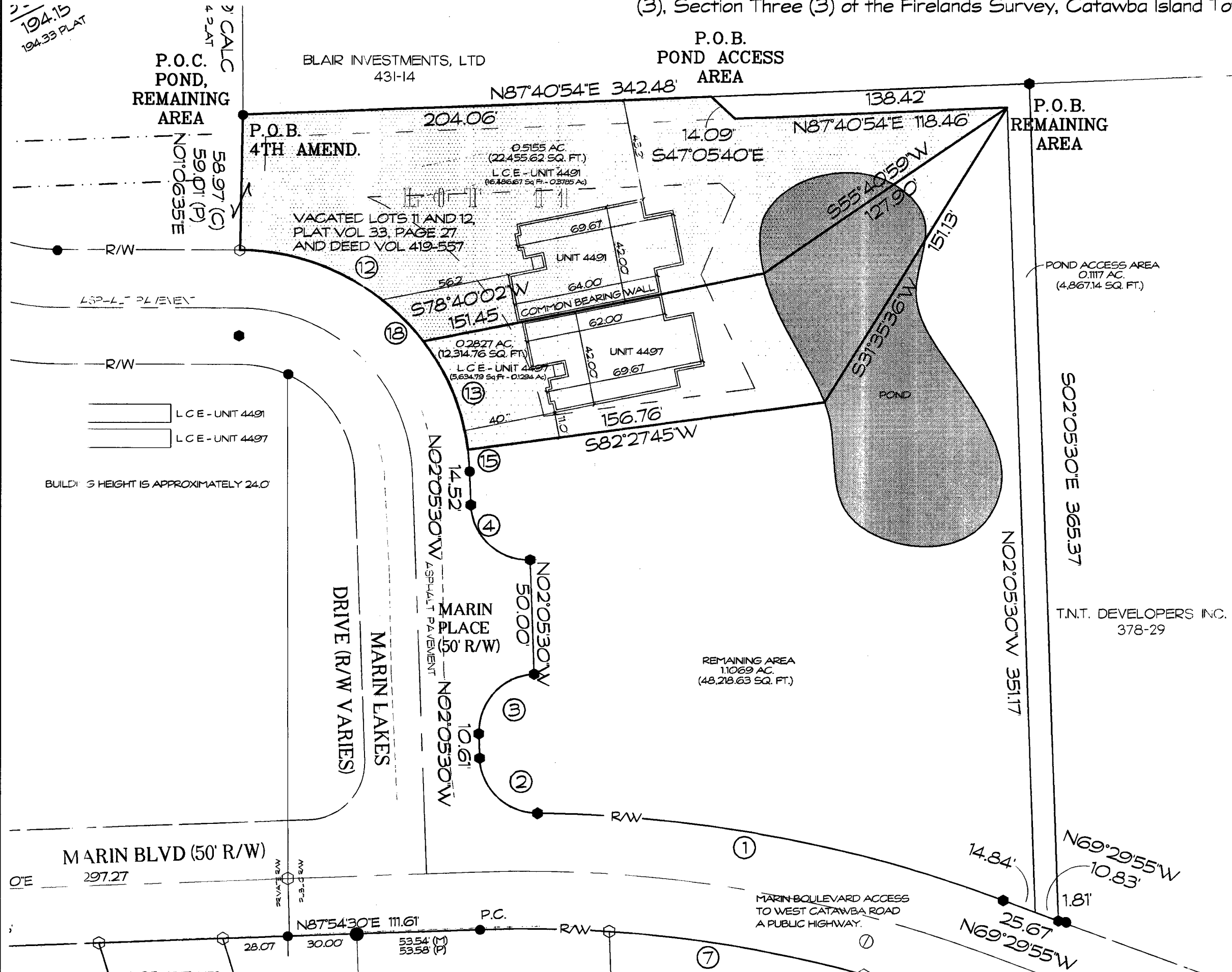


FOURTH AMENDMENT VILLA'S AT LEMARIN CONDOMINIUMS

VOL 57 Pg24

Being a parcel of land situated in Lot Eleven (11) and Lot Twelve (12) in the Residences of LeMarin Subdivision No. 1, Plat Volume 18, Page 21A, vacated per Plat Volume 33, Page 27 and Deed Volume 419, Page 557 and part of Lot Three (3), Section Three (3) of the Firelands Survey, Catawba Island Township, Ottawa County, Ohio.



Legal Description for Villa's at Le Marin Condominiums Remaining Area

Being part of Lot Twelve (12) vacated in the Residences at Lemarin Subd. No. 1 (Plat Vol. 18, Pg. 21A), vacated per Plat Vol. 33, Pg. 27 and Deed Vol. 419, Pg. 557 and part of Lot Three (3), Section Three (3) of the Firelands Survey, Catawba Island Township, Ottawa County, Ohio described as follows:

- 1.) Commencing at a found 3/4" iron pipe marking the northwest corner of Lot Eleven (11)(Vacated) of the Residences of Lemarin Subd. No. 1 (Plat Vol. 18, Pg. 21A), vacated per Plat Vol. 33, Pg. 27 and Deed Vol. 419, Pg. 557;
- 2.) thence N 87° 40' 54" E two hundred four and six hundredths (204.06) feet along the south line of a parcel of land now or formerly owned by Blair Investments LTD. (Vol. 341, Pg. 14) to a point;
- 3.) thence S 47° 05' 40" E fourteen and nine hundredths (14.09) feet to a point;
- 4.) thence N 87° 40' 54" E one hundred eighteen and forty-six hundredths (118.46) feet to the POINT OF BEGINNING;
- 5.) thence S 02° 05' 30" E three hundred fifty-one and seventeen hundredths (351.17) feet to a point on the north right-of-way of Marin Blvd. (50' R/W);
- 6.) thence N 69° 29' 55" W fourteen and eighty-four hundredths (14.84) feet along the north right-of-way of Marin Blvd. (50' R/W) to a found iron rod, said point being on the beginning of a curve concaving to the southwest having a radius of five hundred ninety-seven and ninety-six hundredths (597.96) feet;
- 7.) thence northwesterly along the curve through a central angle of 19° 52' 34" having an arc length of two hundred seven and forty-four hundredths (207.44) feet and a chord bearing of N 79° 26' 07" W having a chord length of two hundred six and forty hundredths (206.40) feet to a found iron rod on the beginning of a reverse curve concaving to the northeast having a radius of twenty-five (25.00) feet, said line also being the north right-of-way of Marin Blvd. (50' R/W);
- 8.) thence northwesterly along the curve through a central angle of 88° 29' 07" having an arc length of thirty-eight and sixty-one hundredths (38.61) feet and a chord bearing of N 46° 20' 04" W having a chord length of thirty-four and eighty-eight hundredths (34.88) feet to a found iron rod, said line also being the north right-of-way of Marin Blvd. (50' R/W) and the east right-of-way of Marin Lakes Drive (R/W Varies);
- 9.) thence N 02° 05' 30" W ten and sixty-one hundredths (10.61) feet along the east right-of-way of Marin Lakes Drive (R/W Varies) to a found iron rod on the beginning of a curve concaving to the southeast having a radius of twenty-five (25.00) feet;
- 10.) thence northeasterly along the curve through a central angle of 90° 00' 00" having an arc length of thirty-nine and twenty-seven hundredths (39.27) feet and a chord bearing of N 42° 54' 30" E having a chord length of thirty-five and thirty-six hundredths (35.36) feet to a found iron rod, said line also being the east right-of-way of Marin Lakes Drive (R/W Varies);
- 11.) thence N 02° 05' 30" W fifty (50.00) feet along east right-of-way of Marin Lakes Drive (R/W Varies) to a found iron rod on a curve concaving to the northeast having a radius of twenty-five (25.00) feet;
- 12.) thence northwesterly along the curve through a central angle of 90° 00' 00" having an arc length of thirty-nine and twenty-seven hundredths (39.27) feet and a chord bearing of N 47° 05' 30" W having a chord length of thirty-five and thirty-six hundredths (35.36) feet to a found iron rod, said line also being the east right-of-way of Marin Lakes Drive (R/W Varies);
- 13.) thence N 02° 05' 30" W fourteen and fifty-two hundredths (14.52) feet along east right-of-way of Marin Lakes Drive (R/W Varies) to a found iron pipe on the beginning of a curve concaving to the southwest having a radius of one hundred (100.00) feet;
- 14.) thence northwesterly along the curve through a central angle of 05° 26' 45" having an arc length of nine and fifty hundredths (9.50) feet and a chord bearing of N 04° 48' 53" W having a chord length of nine and fifty hundredths (9.50) feet to a point, said line also being along the easterly right-of-way of Marin Lakes Drive (R/W Varies);
- 15.) thence N 82° 27' 45" E one hundred fifty-six and seventy-six hundredths (156.76) feet to a point;
- 16.) thence N 31° 35' 36" E one hundred fifty-one and thirteen hundredths (151.13) feet to the POINT OF BEGINNING.

Containing in all 1.1069 acres of land, more or less, subject to all highways and easements of record.

All references are from Ottawa County deeds and records.

All set and found iron rods and pipes are 1/2", unless otherwise noted.

The bearings are assumed and for angular measurements only.

This survey is based upon a survey performed for the Lemarin Development by W. Robert Kusmer, P.S.# 6754 of Kusmer & Associates, Inc. in February, 2004.

Legal Description for Villa's at Le Marin Condominiums Units 4491 and 4497

Being part of Lots Eleven (11) and Twelve (12) vacated in the Residences at Lemarin Subd. No. 1 (Plat Vol. 18, Pg. 21A) vacated per Plat Vol. 33, Pg. 27 and Deed Vol. 419, Pg. 557 and also part of Lot Three (3), Section Three (3) of the Firelands Survey, Catawba Island Township, Ottawa County, Ohio described as follows:

- 1.) BEGINNING at a found 3/4" iron pipe marking the northwest corner of Lot Eleven (11)(Vacated) of the Residences of Lemarin Subd. No. 1 (Plat Vol. 18, Pg. 21A), vacated per Plat Vol. 33, Pg. 26 and Deed Vol. 419, Pg. 557;
- 2.) thence N 87° 40' 54" E two hundred four and six hundredths (204.06) feet along the south line of a parcel of land now or formerly owned by Blair Investments LTD. (Vol. 431, Pg. 14) to a point;
- 3.) thence S 47° 05' 40" E fourteen and nine hundredths (14.09) feet to a point;
- 4.) thence N 87° 40' 54" W one hundred eighteen and forty-six hundredths (118.46) feet to a point;
- 5.) thence S 31° 35' 36" W one hundred fifty-one and thirteen hundredths (151.13) feet to a point;
- 6.) thence S 82° 27' 45" W one hundred fifty-six and seventy-six hundredths (156.76) feet to a point on the beginning of a curve concaving to the southwest having a radius of one hundred (100.00) feet;
- 7.) thence northwesterly along the curve through a central angle of 82° 27' 45" having an arc length of one hundred forty-three and ninety-two hundredths (143.92) feet and a chord bearing of N 48° 46' 05" W having a chord length of one hundred thirty-one and eighty-two hundredths (131.82) feet to a point, said line being along the easterly right-of-way of Marin Lakes Drive (R/W Varies);
- 8.) thence N 01° 06' 35" E fifty-eight and ninety-seven hundredths (58.97) feet to the POINT OF BEGINNING.

Containing in all 0.7982 acres of land, more or less, subject to all highways and easements of record.

All references are from Ottawa County deeds and records.

All set and found iron rods and pipes are 1/2", unless otherwise noted.

The bearings are assumed and for angular measurements only.

This survey is based upon a survey performed for the Lemarin Development by W. Robert Kusmer, P.S.# 6754 of Kusmer & Associates, Inc. in February, 2004.

Legal Description for Villa's at Le Marin Condominiums Pond Access Area

Being in part of Lot Three (3), Section Three (3) of the Firelands Survey, Catawba Island Township, Ottawa County, Ohio described as follows:

- 1.) Commencing at a found 3/4" iron pipe marking the northwest corner of Lot Eleven (11)(Vacated) of the Residences of Lemarin Subd. No. 1 (Plat Vol. 18, Pg. 21A), vacated per Plat Vol. 33, Pg. 27 and Deed Vol. 419, Pg. 557;
- 2.) thence N 87° 40' 54" E two hundred four and six hundredths (204.06) feet along the south line of a parcel of land now or formerly owned by Blair Investments LTD. (Vol. 431, Pg. 14) to the POINT OF BEGINNING;
- 3.) thence N 87° 40' 54" E one hundred thirty-eight and forty-two hundredths (138.42) feet along the south line of a parcel of land now or formerly owned by Blair Investments LTD. (Vol. 431, Pg. 14) to a found iron rod;
- 4.) thence S 02° 05' 30" E three hundred sixty-five and thirty-seven hundredths (365.37) feet along the west line of a parcel of land now or formerly owned by T.N.T. Developers Inc. (Vol. 378, Pg. 29) to a found iron rod on the north right-of-way of Marin Blvd. (50' R/W);
- 5.) thence N 69° 29' 55" W ten and eighty-three hundredths (10.83) feet along the north right-of-way of Marin Blvd. (50' R/W) to a point;
- 6.) thence N 02° 05' 30" W three hundred fifty-one and seventeen hundredths (351.17) feet to a point;
- 7.) thence S 87° 40' 54" W one hundred eighteen and forty-six hundredths (118.46) feet to a point;
- 8.) thence N 47° 05' 40" W fourteen and nine hundredths (14.09) feet to the POINT OF BEGINNING.

Containing in all 0.1117 acres of land, more or less, subject to all highways and easements of record.

All references are from Ottawa County deeds and records.

All set and found iron rods and pipes are 1/2", unless otherwise noted.

The bearings are assumed and for angular measurements only.

This survey is based upon a survey performed for the Lemarin Development by W. Robert Kusmer, P.S.# 6754 of Kusmer & Associates, Inc. in February, 2004.

OTTAWA COUNTY RECORDER CERTIFICATION

FILED FOR THIS 8th DAY OF December 2008, AT 4:06pm.
RECORDED THIS 8th DAY OF December 2008.
RECORDED IN PLAT VOLUME 57 PAGE 24-28
Instrument: 200800190087
Fee: 373.20

Virginia M. Park, Recorder
OTTAWA COUNTY RECORDER

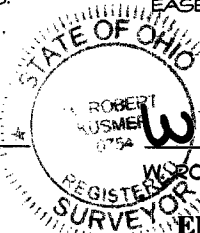
OTTAWA COUNTY AUDITOR CERTIFICATION

A COPY OF THE DRAWING FOR THE VILLA'S AT LE MARIN CONDOMINIUMS WAS FILED WITH THIS OFFICE ON _____ 2008.

OTTAWA COUNTY AUDITOR

SURVEYOR'S CERTIFICATION

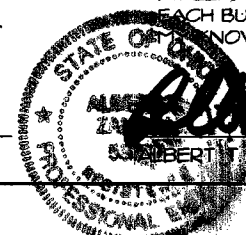
I HEREBY CERTIFY THAT THE SET OF DRAWINGS OF THE VILLAS AT LEMARIN CONDOMINIUM ACCURATELY REFLECTS THE LOCATION OF THE IMPROVEMENTS AND RECORDED EASEMENTS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.



W. Robert Kusmer 6/12/08
W. ROBERT KUSMER, P.S.# 6754
REGISTERED PROFESSIONAL SURVEYOR

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THE SET OF DRAWINGS OF THE VILLAS AT LEMARIN CONDOMINIUM PROPERTY ACCURATELY SHOWS EACH BUILDING AS BUILT OR CONSTRUCTED, TO THE BEST OF MY KNOWLEDGE AND BELIEF.



Robert J. Zamora 6/12/08
ROBERT J. ZAMORA, P.E.# 33397
REGISTERED PROFESSIONAL ENGINEER

CURVE DATA					
NO.	ANGLE	RADIUS	ARC	CHORD	CHORD BRG.
1	19° 52' 34"	597.96	207.44	206.40	N 79° 26' 07" W
2	88° 29' 07"	25.00	38.61	34.88	N 46° 20' 04" W
3	90° 00' 00"	25.00	39.27	35.36	N 42° 54' 30" E
4	90° 00' 00"	25.00	39.27	35.36	N 47° 05' 30" W
12	52° 44' 08"	100.00	92.04	88.83	N 63° 37' 51" W
13	29° 43' 31"	100.00	51.88	51.30	N 22° 24' 01" W
15	05° 26' 45"	100.00	9.50	9.50	N 04° 48' 53" W
18	82° 27' 45"	100.00	143.92	131.82	N 48° 46' 05" W

LEGEND

DESCRIPTION	SET	FOUND
MONUMENT BOX	⊕	⊕
CONCRETE MONUMENT	⊙	⊙
IRON ROD	○ 1/2"	●
IRON PIPE	⊙	● 3/4"
RAILROAD SPIKE	⊕	⊕

KUSMER & ASSOCIATES, INC.
 Engineers & Architects
 4350 STATE STREET
 CATAWBA ISLAND, OHIO 44824
 PHONE: 419-322-1111
 FAX: 419-322-1065
 E-MAIL: INFO@KUSMER.COM

**FOURTH AMENDMENT
VILLA'S AT LEMARIN CONDOMINIUMS**

Down: E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z
 Date: _____
 Check: _____
 Revision: _____
 No. Date: _____
 COGOPC No.: _____

NORTH
 AS SHOWN

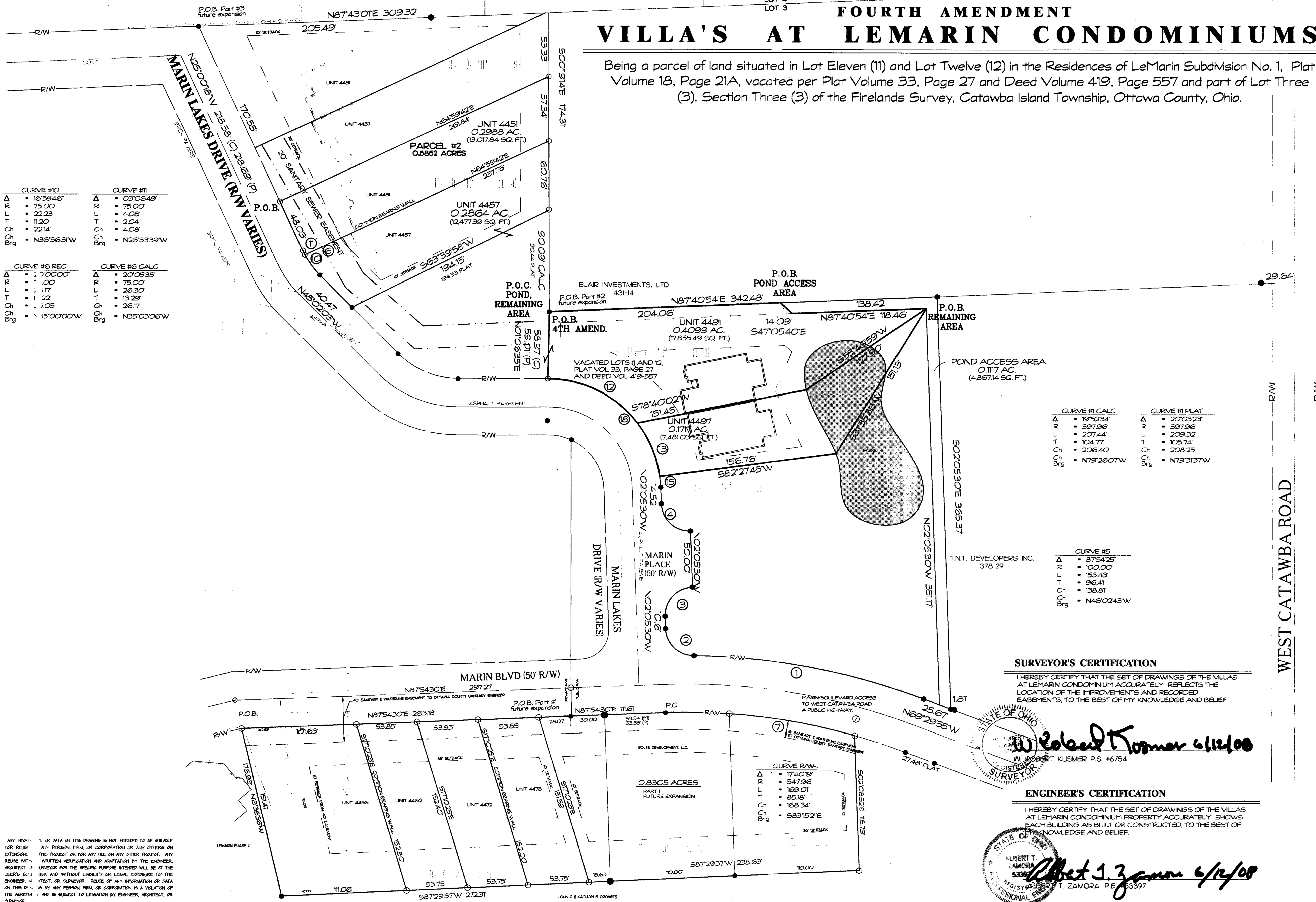
0 30
 SCALE: 1" = 30'
1 of 5
Rev - 0
 O3107E

LOT 4
LOT 3

FOURTH AMENDMENT

VILLA'S AT LEMARIN CONDOMINIUMS

Being a parcel of land situated in Lot Eleven (11) and Lot Twelve (12) in the Residences of LeMarin Subdivision No. 1, Plat Volume 18, Page 21A, vacated per Plat Volume 33, Page 27 and Deed Volume 419, Page 557 and part of Lot Three (3), Section Three (3) of the Firelands Survey, Catawba Island Township, Ottawa County, Ohio.



CURVE #10	CURVE #11		
Δ	• 16'58.46'	Δ	• 03'06.49'
R	• 75.00	R	• 75.00
L	• 22.23	L	• 4.08
T	• 11.20	T	• 2.04
Ch	• 22.14	Ch	• 4.08
Brg	• N36°36.31'W	Brg	• N26°33.39'W

CURVE #6 REC	CURVE #6 CALC		
Δ	• 7'00.00'	Δ	• 20'05.35'
R	• 75.00	R	• 75.00
L	• 5.17	L	• 26.30
T	• 1.22	T	• 13.29
Ch	• 5.05	Ch	• 26.17
Brg	• N 15°00'00"W	Brg	• N35°03'06"W

CURVE #1 CALC	CURVE #1 PLAT		
Δ	• 19'52.34'	Δ	• 20'03.23'
R	• 59'7.96	R	• 59'7.96
L	• 207.44	L	• 209.32
T	• 104.77	T	• 105.74
Ch	• 206.40	Ch	• 208.25
Brg	• N79°26'07"W	Brg	• N79°31'37"W

CURVE #5	
Δ	• 87'54.25'
R	• 100.00
L	• 153.43
T	• 96.41
Ch	• 138.81
Brg	• N46°02'43"W

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SET OF DRAWINGS OF THE VILLAS AT LEMARIN CONDOMINIUM ACCURATELY REFLECTS THE LOCATION OF THE IMPROVEMENTS AND RECORDED EASEMENTS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STATE OF OHIO
Robert Kusmer 6/12/08
W. ROBERT KUSMER P.S. #6754
SURVEYOR

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THE SET OF DRAWINGS OF THE VILLAS AT LEMARIN CONDOMINIUM PROPERTY ACCURATELY SHOWS EACH BUILDING AS BUILT OR CONSTRUCTED, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STATE OF OHIO
ALBERT T. ZAMORA
5339
REGISTERED PROFESSIONAL ENGINEER
Albert T. Zamora 6/12/08
P.E. #33397

ANY INFORMATION OR DATA ON THIS DRAWING IS NOT INTENDED TO BE SUITABLE FOR RELIEF EXTENSIONS THIS PROJECT OR FOR ANY USE ON ANY OTHER PROJECT. ANY WRITTEN VERIFICATION AND ADVERTISEMENT BY THE ENGINEER, ARCHITECT, OR SURVEYOR FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE ENGINEER, ARCHITECT, OR SURVEYOR. RELIANCE ON THIS DRAWING BY ANY PERSON, FIRM, OR CORPORATION IS A VIOLATION OF THE AGREEMENT AND IS SUBJECT TO LITIGATION BY ENGINEER, ARCHITECT, OR SURVEYOR.
NOT PUBLISHED. ALL RIGHTS RESERVED.

softeams
Engineers & ARCHITECTS
KUSMER & ASSOCIATES INC
STATE STREET
OHIO 43002
622 W. MARKET
PUBLIC OFFICE
419-333-7056
FAX
419-333-7056
E-MAIL: kumers@softeams.net

FOURTH AMENDMENT
VILLAS AT LEMARIN CONDOMINIUMS

Drawn By	Date	Check	Date
Revised By	Date	Revision	Date
No	Date	By	
C.O.S.O.P.C. No.			



SCALE: 1" = 40'

2 of 5

Rev - 0

03107E