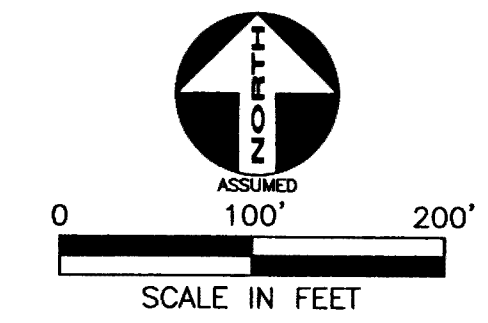


# 5TH AMENDMENT

# THE VINEYARD CONDOMINIUM

BEING PART OF LOTS 3 & 4 IN SECTION 26, CATAWBA ISLAND TOWNSHIP,  
T-7-N, R-17-E, OTTAWA COUNTY, OHIO

VOL 70 PG 1



REFERENCES  
DEED VOLUME AND PAGE AS SHOWN  
PLAT VOLUME 54, PAGE 52  
PLAT VOLUME 55, PAGES 1-68

CHECKED BY: DUN  
DRAWN BY: DUN  
DATE: 02-21-20  
SCALE: 1" = 100'  
PAGE NO.: 1  
3

### LEGAL DESCRIPTION:

Being part of Lot 5 of The Vineyard on Catawba Plat 2 as recorded in Ottawa County Plat Volume 54, Page 52, situated in part of Lot 4 in Section 26, Catawba Island Township, T-7-N, R-17-E, Ottawa County, Ohio, described as follows:

Commencing at a found 5/8 inch diameter iron rod in concrete marking the East Quarter Post of fractional Section 26 and also marking the northeasterly corner of said Lot 5 as recorded in Ottawa County Plat Volume 54, Page 52;

thence S 89° 44' 51" W two hundred four and fifty-two hundredths (204.52) feet along the northerly line of said Lot 5 to the northeasterly corner of Expansion Area "A";

thence S 89° 44' 51" W two hundred forty-two and one hundredths (242.01) feet along the northerly line of said Lot 5 to THE POINT OF BEGINNING;

thence S 01° 08' 08" W two hundred twenty-five and one hundredths (225.01) feet to the northerly right-of-way of the Vineyard Circle Drive from which the beginning of a curve to the left with a radius of 375.00 feet and a central angle of 12° 07' 13";

thence along said curve and said northerly right-of-way of Vineyard Circle Drive with a chord bearing of N 89° 11' 57" W and a chord distance of seventy-nine and eighteen hundredths (79.18) feet and a curve length of 79.33 feet;

thence N 06° 33' 45" W two hundred twenty-four and eighty-five hundredths (224.85) feet to the northerly line of said Lot 5 and said northerly line of Expansion Area "A";

thence N 89° 44' 51" E one hundred nine and thirty-three hundredths (109.33) feet along the northerly line of said Lot 5 and said northerly line of Expansion Area "A" to THE POINT OF BEGINNING;

Containing in all, 0.482 acres (20,995.92 SF.) of land, more or less, subject to all legal highways and easements.

The bearing of West Catawba Road (CR. 30) is assumed N 00° 46' 01" W. Bearings are assumed and for angular measurement only. All iron rods set are 5/8" diameter by 30" length with personalized caps marked HANK AND ASSOC. Driven flush.

This 0.482 acre legal description is based upon an actual field survey done by Daniel J. Nichols, P.S. #7460, HANK and Associates, Inc., 137 South Washington Street, Tiffin, Ohio 44883 in February, 2020.

### ARCHITECT'S STATEMENT

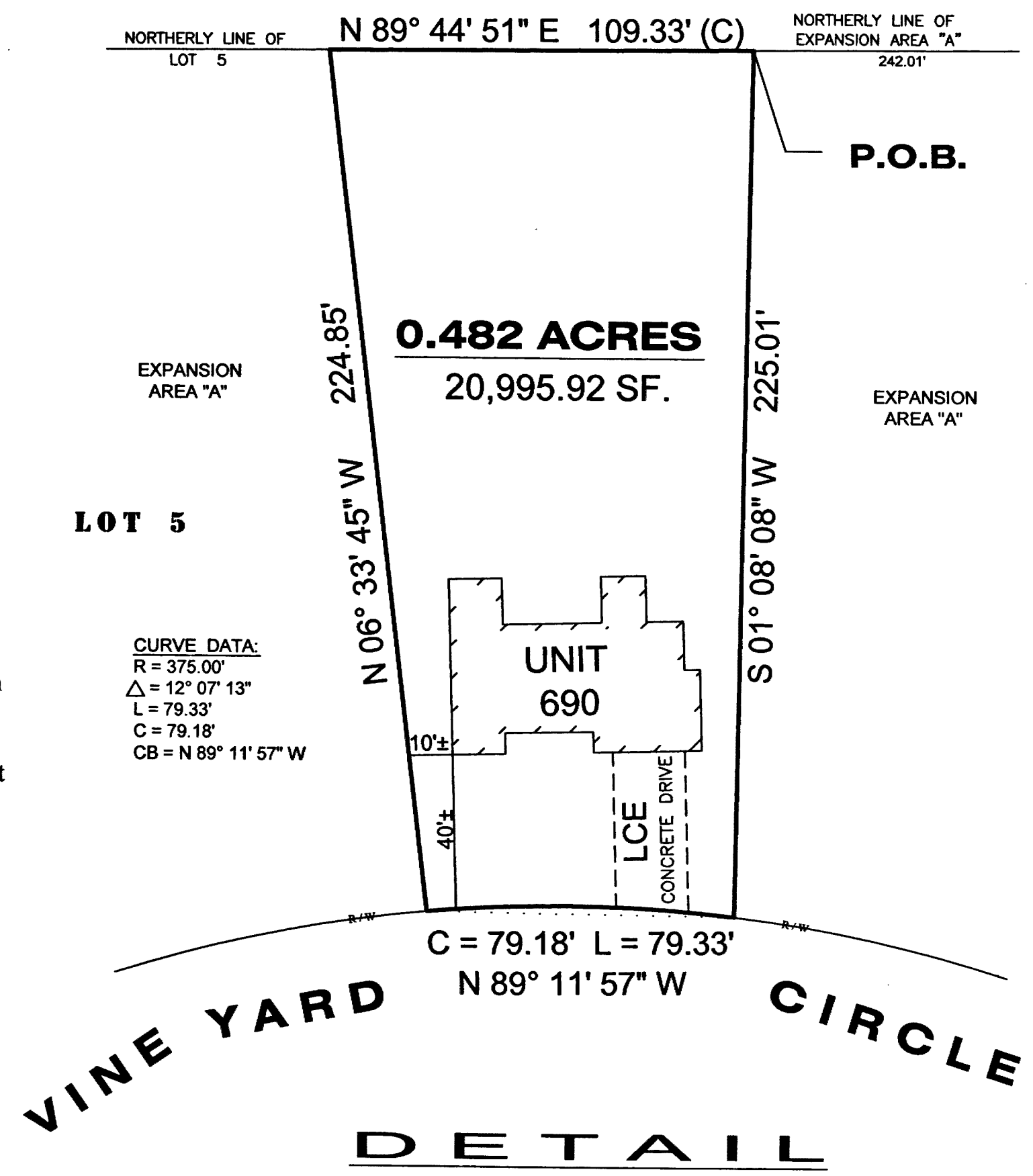
MY SIGNATURE AFFIXED BELOW CERTIFIES THAT THIS SET OF DRAWINGS OF THE VINEYARD CONDOMINIUM ACCURATELY SHOWS (1) THE BUILDINGS AND OTHER IMPROVEMENTS TO THE LAND AS CONSTRUCTED (2) THE LAYOUT, LOCATION DESIGNATION AND DIMENSIONS OF EACH UNIT; AND (3) THE LAYOUT, LOCATION AND DIMENSIONS OF THE COMMON ELEMENTS AND THEIR APPURTENT FACILITIES.

RICHARD B. BROWN #8606 DATE

### OWNERS / DECLARANT

OPRS COMMUNITIES, AN OHIO LIMITED LIABILITY COMPANY, FKA: OHIO PRESBYTERIAN RETIREMENT SERVICES AN OHIO NOT-FOR-PROFIT CORPORATION 1001 KINGSMILL PARKWAY, COLUMBUS, OHIO 43229

NOTE: ALL RECORDED EASEMENTS SHOWN PER TITLE COMMITMENT NO. 43635, DATED APRIL 10, 2008 HARTUNG TITLE AGENCY, INC.



ACREAGE SUMMARY:  
TOTAL AREA "A" = 2.507 ACRES  
LESS UNIT 690 = 0.482 ACRES  
REMAINING = 2.025 ACRES

### OTTAWA COUNTY AUDITOR

I HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO ME AND TRANSFERRED THIS 12th DAY OF March, 2020.

*Janette J. Widmer* by *G. M. Conrad, dep.*  
OTTAWA COUNTY AUDITOR

### OTTAWA COUNTY RECORDER

FILED FOR RECORD THIS 12th DAY OF March, 2020, AT 4:13 P.M.  
RECORDED THIS 12th DAY OF March, 2020, IN PLAT VOLUME 70, PAGE 1-13

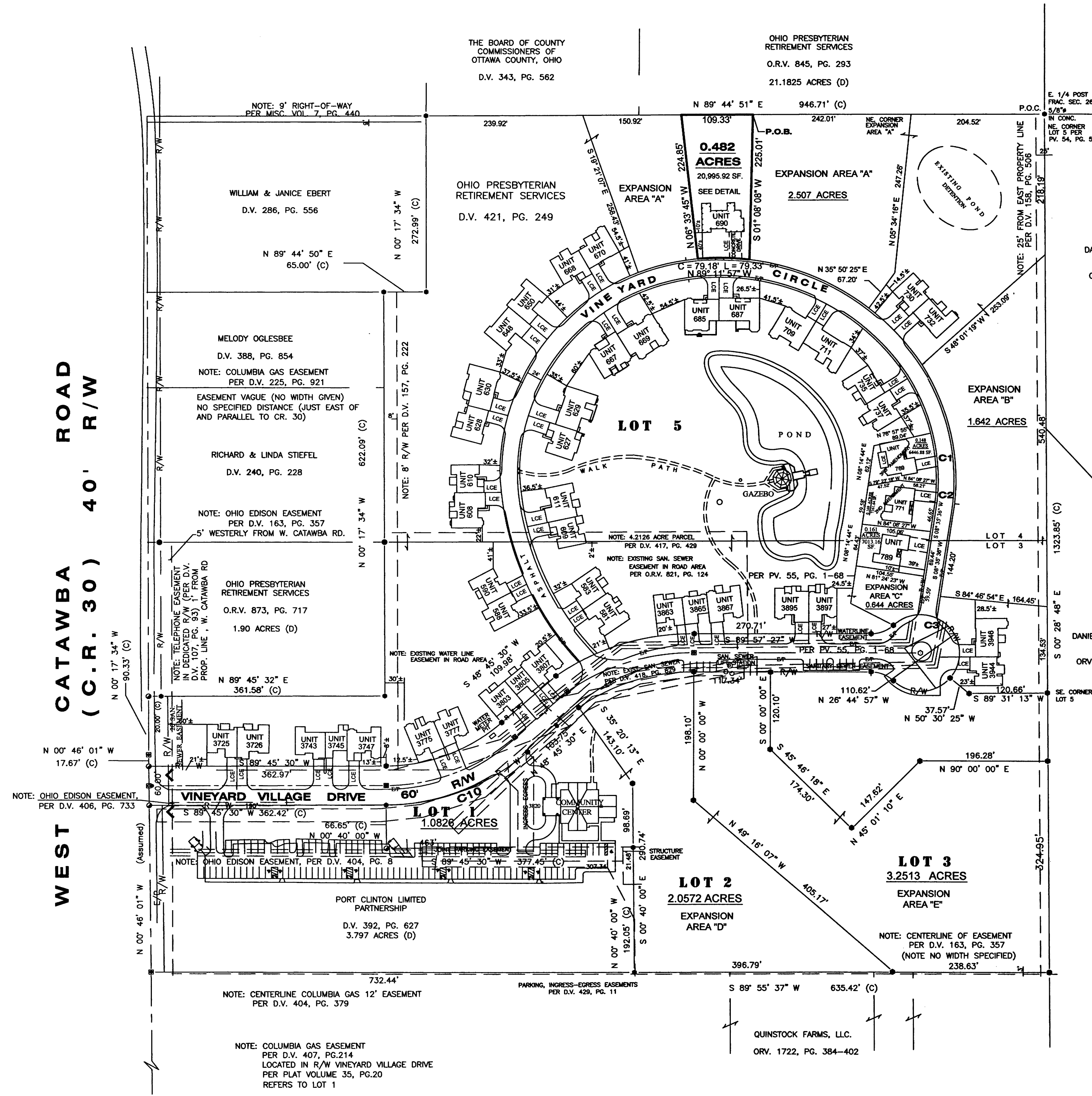
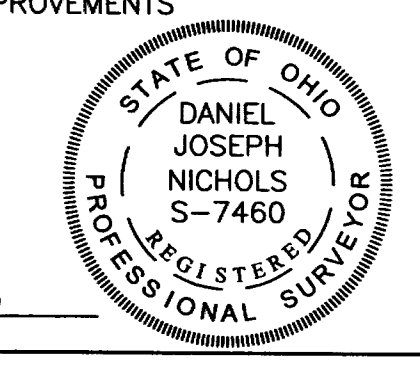
*Virginia M. Park*  
OTTAWA COUNTY RECORDER  
Recorder Number 293063

### SURVEYOR'S STATEMENT

THE DRAWING ACCURATELY REFLECTS THE LOCATION OF IMPROVEMENTS AND RECORDED EASEMENTS.

1 of 13

*Daniel J. Nichols*  
DANIEL J. NICHOLS, P.S. #7460  
DATE: 03-02-20



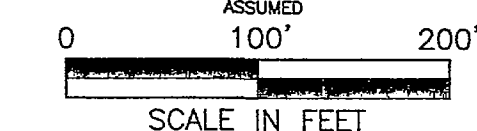
### CURVE DATA:

CURVE #	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C1	300.00'	15° 10' 51"	79.49'	79.25'	S 06° 29' 16" E
C2	300.00'	05° 02' 51"	26.43'	26.42'	S 03° 37' 35" W
C3	60.00'	134° 23' 53"	140.73'	110.62'	N 26° 44' 57" W

### LEGEND

SET	FOUND	DESCRIPTION
⊙	⊙	CONC. MONUMENT
⊕	⊕	RAILROAD SPIKE
⊖	⊖	NAIL
⊗	⊗	IRON ROD
⊘	⊘	DRILL HOLE
●	●	STONE
■	■	MONUMENT BOX
◆	◆	IRON PIPE
◼	◼	WOOD POST
(D)	(D)	DEED
(P)	(P)	PLAT
(M)	(M)	MEASURED
(S)	(S)	SURVEYED
(C)	(C)	CALCULATED

HANK AND ASSOCIATES, INC.  
137 SOUTH WASHINGTON STREET  
Tiffin, Ohio 44883  
P. H. O. N. E.: (419) 447-4300 F. A. X.: (419) 447-2076  
JOB NO.: 20201-022



REFERENCES  
DEED VOLUME AND PAGE AS SHOWN  
PLAT VOLUME 54, PAGE 52  
PLAT VOLUME 55, PAGES 1-68

PAGE NO.: 1  
 CHECKED BY: DJN  
 DRAWN BY: DJN  
 DATE: 02-21-20  
 SCALE: 1" = 100'  
 CONDO PLAT FOR:  
 HANK AND ASSOCIATES, INC.  
 137 SOUTH WASHINGTON STREET  
 Tiffin, Ohio 44883  
 PHONE: (419) 447-4300 FAX: (419) 447-2076  
 JOB NO.: 20201.022

# 4TH AMENDMENT

# THE VINEYARD CONDOMINIUM

BEING PART OF LOTS 3 & 4 IN SECTION 26, CATAWBA ISLAND TOWNSHIP,  
T-7-N, R-17-E, OTTAWA COUNTY, OHIO

### LEGAL DESCRIPTION:

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### ARCHITECT'S STATEMENT

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*Richard B. Brown* 3/6/20  
RICHARD B. BROWN #8606 DATE

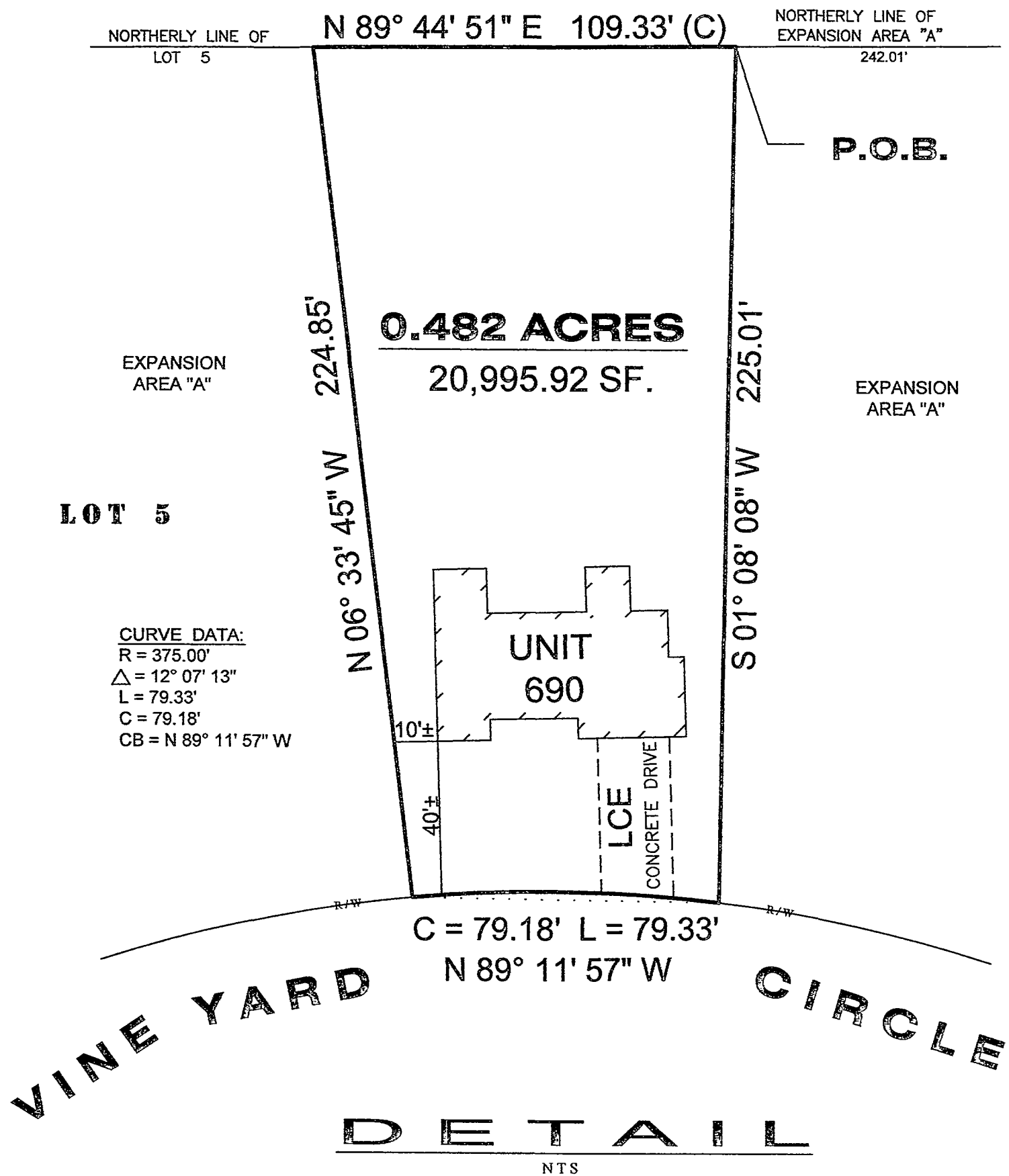
### LEGEND

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(D)	(D)	DEED
(P)	(P)	PLAT
(M)	(M)	MEASURED
(S)	(S)	SURVEYED
(C)	(C)	CALCULATED

### OWNERS / DECLARANT

OPRS COMMUNITIES, AN OHIO LIMITED LIABILITY COMPANY, FKA: OHIO PRESBYTERIAN RETIREMENT SERVICES AN OHIO NOT-FOR-PROFIT CORPORATION 1001 KINGSMILL PARKWAY, COLUMBUS, OHIO 43229

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### OTTAWA COUNTY AUDITOR

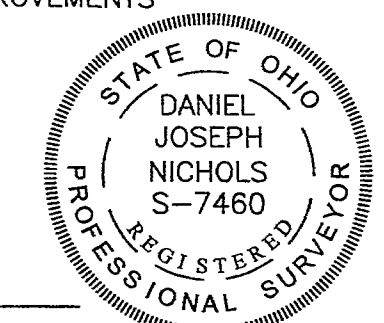
I HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO ME AND TRANSFERRED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

### OTTAWA COUNTY RECORDER

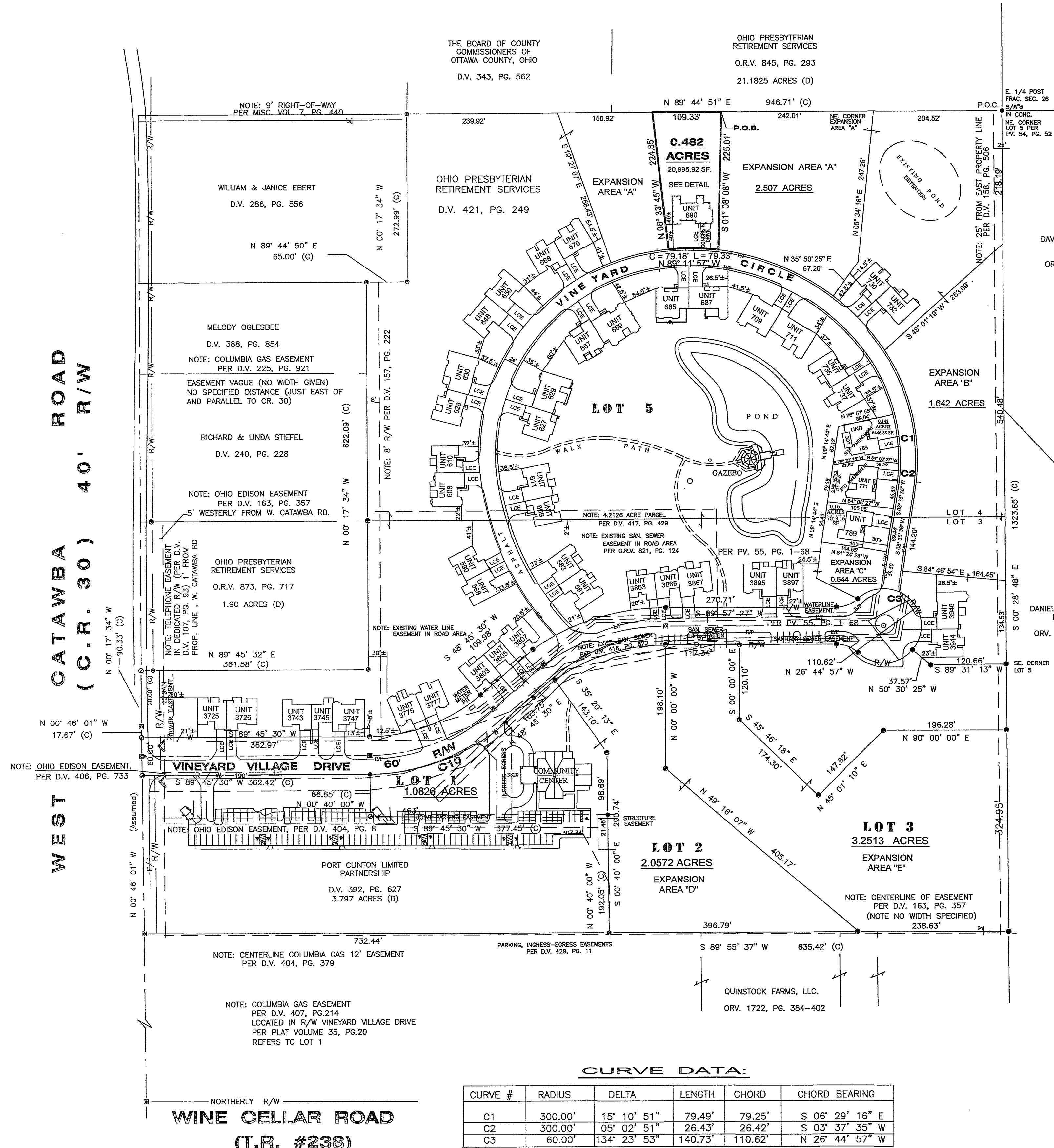
FILED FOR RECORD THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_  
RECORDED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020, IN PLAT VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_

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DANIEL J. NICHOLS, P.S. #7460 DATE



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C3	60.00'	134° 23' 53"	140.73'	110.62'	N 26° 44' 57" W

WINE CELLAR ROAD  
(T.R. #238)