

WINDOW SCHEDULE - ANDERSON 400 SERIES

| SUPPLIER'S REF. No. | ID | NUMBER | R.O. W | R.O. Ht | REMARKS |
|---------------------|----|-------------|------------|---------------|--|
| 3 | A | CXW16-3 | 9'-0 5/8" | 6'-0 3/8" | -- |
| 1 | B | CXW16 | 3'-0 1/2" | 6'-0 3/8" | -- |
| 2 | C | CXW145 | 3'-0 1/2" | 4'-5 3/8" | -- |
| 4 | D | NL0012080-4 | 11'-9 3/4" | 8'-0" | -- |
| 6 | E | CXW55-2 | 6'-0 1/2" | 5'-5 3/8" | -- |
| 8 | F | NL0012068-4 | 11'-9 3/4" | 6'-8" | -- |
| 10 | G | CXW245 | 6'-0" | 4'-5" | -- |
| 9 | H | CW265 | 4'-9" | 5'-5" | -- |
| 9 | I | AFCW22 | 4'-9" | 2'-1" / 2'-9" | ARCHTOP |
| 19 | J | CX14 | 2'-8" | 4'-0 1/2" | -- |
| 12 | K | CXW23 | 6'-0" | 3'-0" | -- |
| 17 | L | CN24 | 3'-5" | 4'-0 1/2" | -- |
| 14, 15 | M* | SPECIAL | 3'-5" | 3'-0" - 1'-6" | * FIELD MEASURE FIRST, TRAPEZOID FIXED |
| 13 | N | CN245 | 3'-5" | 4'-5" | -- |
| 5 | O | NL006080R | 6'-0" | 8'-0" | -- |
| 1 | P | APPW601 | -- | -- | -- |
| 2 | Q | SPECIAL | 4'-0" | 3'-5" / 1'-5" | TRAPEZOID |

ROOM FINISH SCHEDULE

| FLOOR | BASE |
|---|-----------------------------------|
| WALLS | CEILING |
| 1. LAMINATE WOOD FLOOR ON 1/4" UNDERLAYMENT | 1. 4" WOOD |
| 2. HARDWOOD 3/4" | 2. 4" CERAMIC |
| 3. CARPET | 3. 5 1/4" MDF |
| 4. 12x12 CERAMIC | 4. EXPOSE CONST'N. |
| 5. SHEET VINYL | * DOOR & WINDOW CASING 3 1/2" MDF |
| 6. CONC. w/ SEALER | |
| 1. DRYWALL PAINTED | 1. DRYWALL PAINTED |
| 2. DRYWALL TYPE "X" PAINTED | 2. DRYWALL TYPE "X" PAINTED |
| 3. DRYWALL MR. BD. | 3. EXPOSED CONST'N. |

SQUARE FOOTAGE

| | | |
|-----------|-----------|-------------|
| 1st FLOOR | 900 S.F. | LIVING AREA |
| 2nd FLOOR | 1300 S.F. | LIVING AREA |
| TOTAL | 2200 S.F. | |
| LOFT | 670 S.F. | LIVING AREA |
| | 2870 S.F. | |

JOHN H. LUSCOMBE 08/12/09
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| 1 | REVIEW SET ISSUED | 1/22/09 |

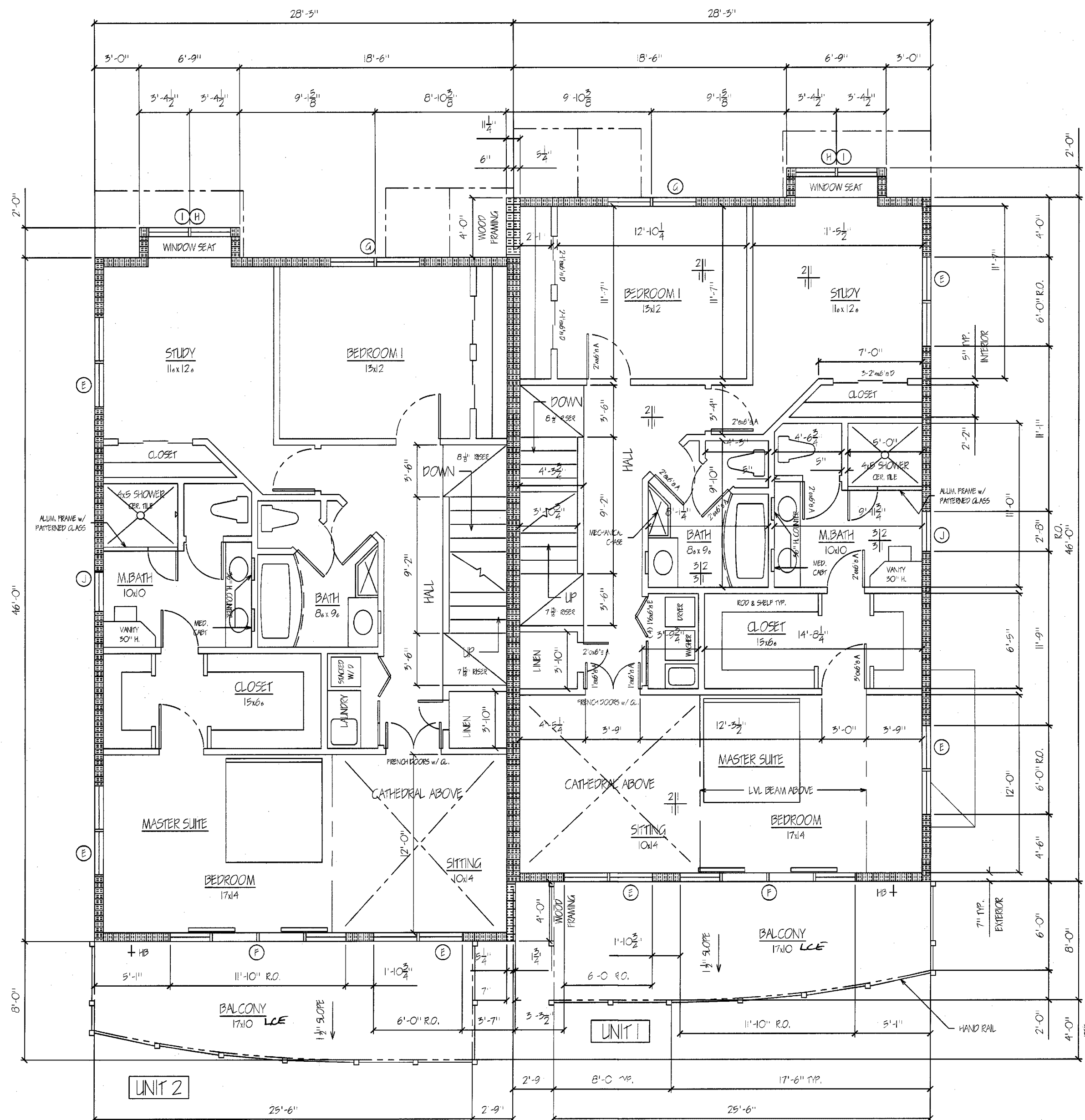
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(419) 244-3259

Project Name and Address
NOR'EASTER CONDOMINIUM'S THE COVE
North Harbor Causeway
Port Clinton, Ohio 43452

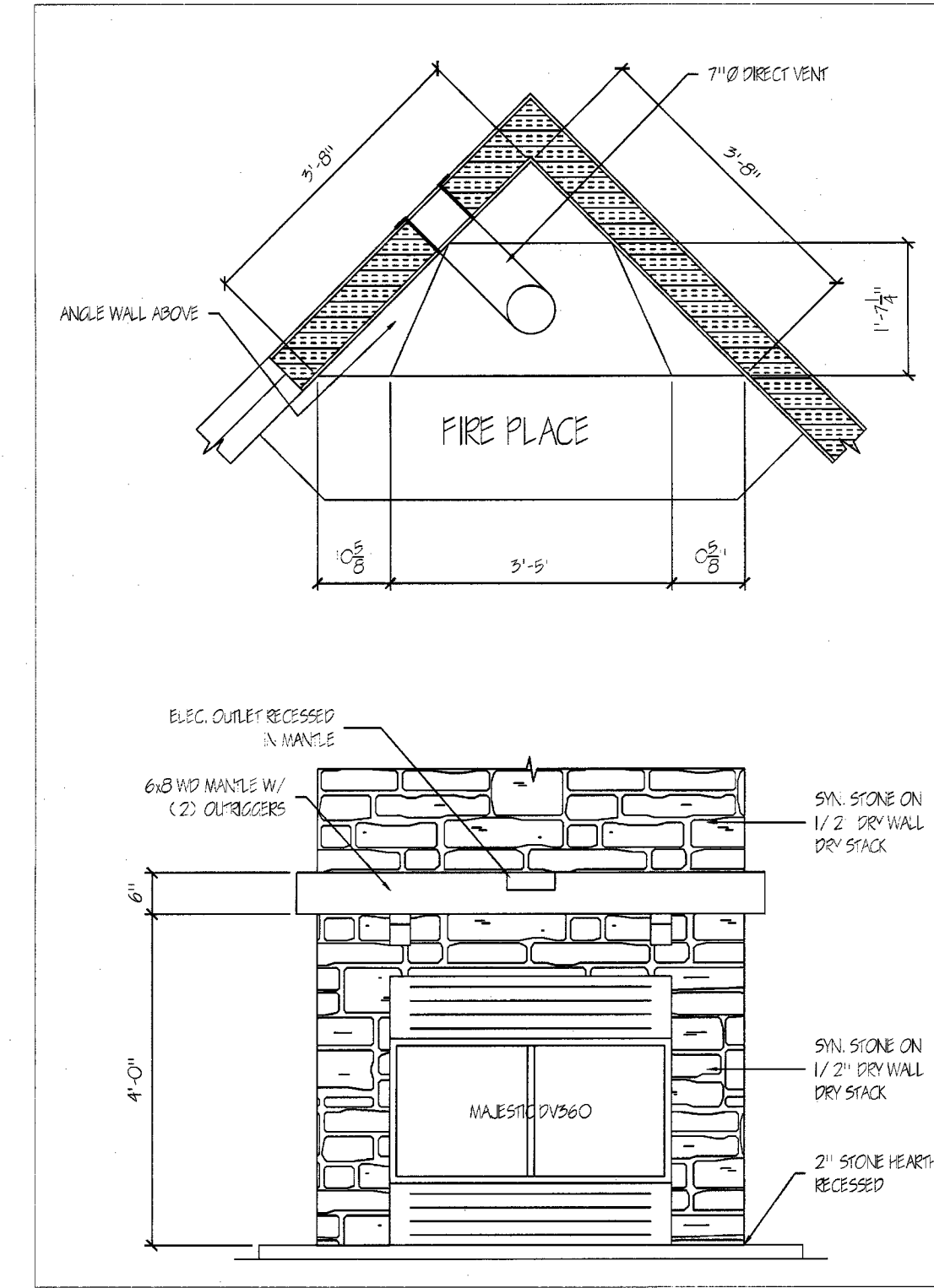
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| Project The Cove | Sheet 1 |
| Date 1/29/2009 | 2 of 8 |
| Scale As Noted | |

DECK NOTE:
FINAL LOCATION OF DECK PILING AND DECK CONFIGURATION TO BE DETERMINED IN FIELD

FIRST FLOOR
SCALE: 1/4" = 1'-0"



SECOND FLOOR
SCALE 1/4" = 1'-0"



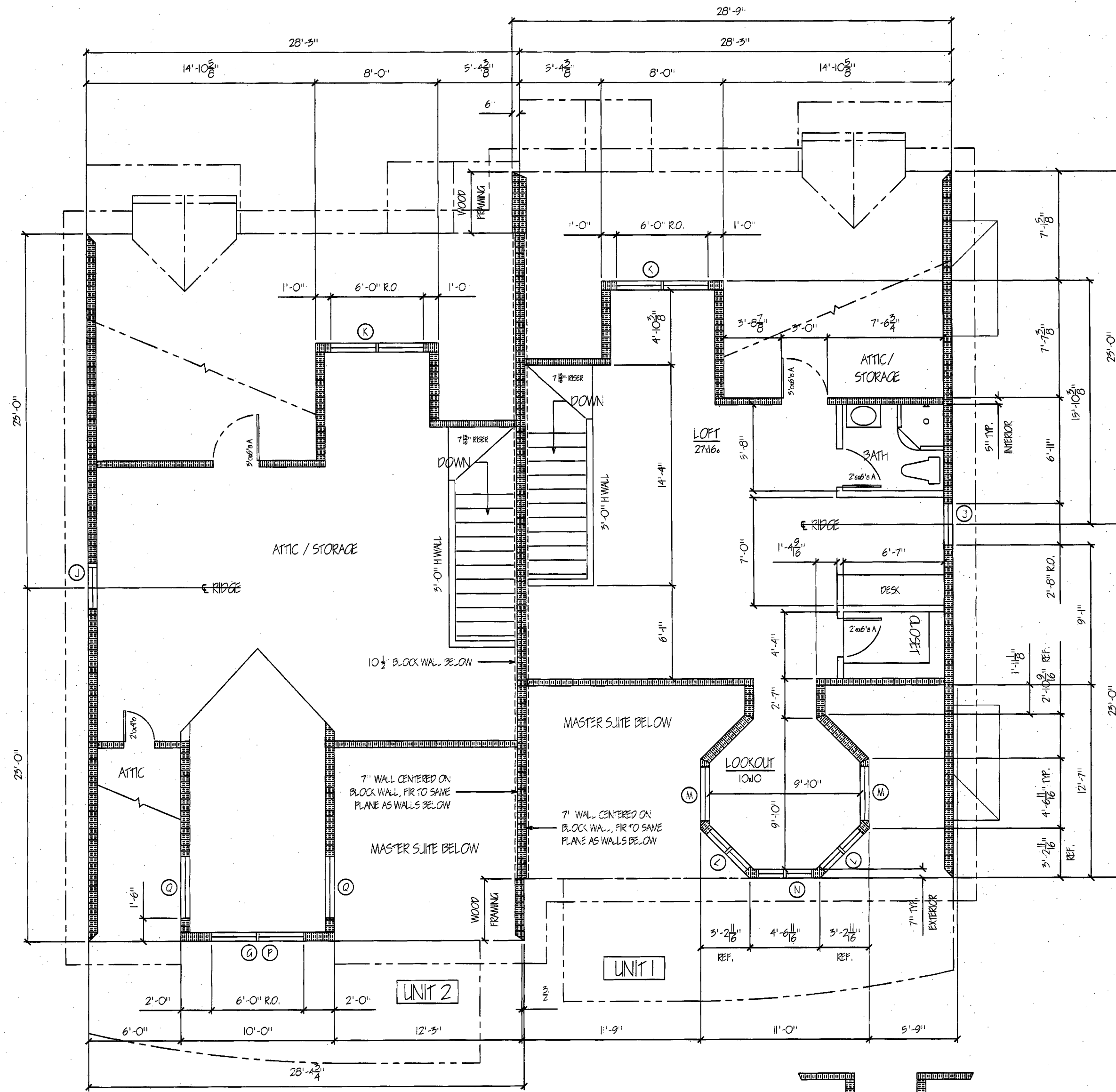
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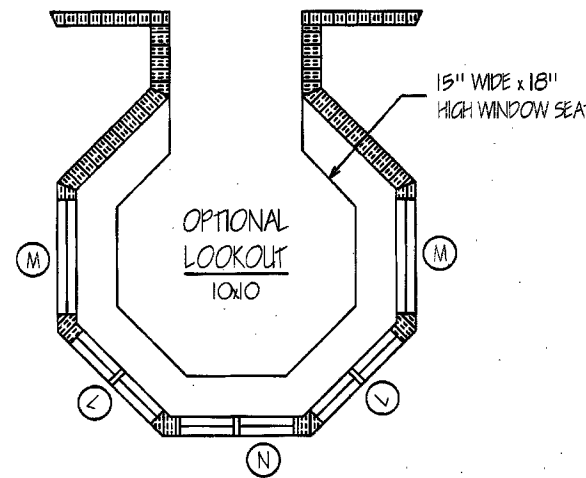
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THIRD FLOOR
SCALE: 1/4" = 1'-0"



1. GENERAL - CONDOMINIUMS SHALL MEET ALL LOCAL AND STATE CODES. CONTRACTORS, SUBCONTRACTORS, AND SUPPLIERS SHALL REFER TO THE REVISED 2006 RESIDENTIAL CODE FOR OHIO FOR CONFORMANCE. CONTRACTORS SHALL CARRY NECESSARY BUILDERS RISK AND LIABILITY INSURANCE. ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTORS, WHO ARE RESPONSIBLE FOR ALL PERMITS AND TAP FEES. CONTRACTOR SHALL PROVIDE FINAL GRADING AND SEEDING. PROGRESSIVE MECHANICS LIEN RELEASES TO BE SUBMITTED WITH EACH INVOICE. NO CHECK WALL BE ISSUED WITHOUT EXECUTED RELEASES.

2. SITE - PROVIDE ALL NECESSARY UTILITIES AND TIE INTO EXISTING SYSTEMS AS REQUIRED. DRIVE AND PARKING AREAS TO BE 6" CONCRETE ON 4" STONE BASE. ALL WALKS TO BE 4" CONCRETE WITH MESH. PROVIDE COMPACTED FILL AS REQUIRED TO MEET NEW ELEVATIONS. PROVIDE 4" PVC DRAIN TILE AT BASE OF GRADE BEAM. TILE TO LAGOON. PROVIDE SEPARATE 4" PVC TILE TO PICK UP DOWNSPOUTS TO LAGOON.

3. CONCRETE / STRUCTURAL FRAMING AND FOOTINGS - CONCRETE GRADE BEAMS SHALL BE 4000 PSI CONCRETE REINFORCED AS SHOWN ON THE SECTIONS. CONCRETE GARAGE FLOOR SHALL BE 6" THICK WITH VAPOR BARRIER ON 4" OF COMPACTED STONE, IN 6" LAYERS OF COMPACTED FILL. FRAMING LUMBER SHALL BE SPRUCE, PINE OR FIR #1 OR #2. ALL FLOOR JOISTS SHALL RECEIVE BRIDGING PER CODE. FLOOR LIVE LOAD IS 40 PSF AND 15 PSF DEAD. FINAL SIZING OF 1-JOISTS, LVL'S, HEADERS AND LINTELS SHALL BE BY JOIST SUPPLIER. PROVIDE SIMPSON OR SIMILAR CONNECTORS AT ALL WOOD-TO-WOOD CONNECTIONS AND RAFTER TO TOP PLATE.

4. MASONRY - EXTERIOR STONE AS SHOWN ON DRAWINGS SHALL BE SYNTHETIC STONE AS SELECTED BY OWNER. FIREPLACE HEARTH SHALL BE 2" FIELDSTONE. ALL FOUNDATION WALLS SHALL RECEIVE TUFF 8 DRI WATERPROOFING SYSTEM WITH 2" INSULATION.

5. METALS - DECK RAILINGS TO BE DURARAIL 1 5/8" SQ. FASCIA MOUNTED POSTS WITH 5/8" PICKETS AND SQUARE SWAP TOP RAIL.

6. WOOD - WALL FRAMING TO BE 2 X 6 STUDS 16" ON CENTER. FLOOR FRAMING SHALL BE 1 JOIST WITH LVL BEAMS AS SHOWN ON DRAWINGS. SUB FLOORS TO BE 3/4" TNG OSB GLEED AND NAILED. ROOF STRUCTURE TO BE 2 X 10 RAPTHERS 16" ON CENTER AND OR PRE-FABRICATED ROOF TRUSSES, WITH 7/16" OSB SHEATHING. EXTERIOR SIDING SHALL BE CERTAINTED FIBER CEMENT BOARD SIDING OR EQUAL. EXTERIOR TRIM SHALL ALSO BE CEMENT BOARD. INTERIOR TRIM SHALL BE MDP PAINTED. 5/1 4" BASE AND 3/1 2" DOOR AND WINDOW CASING. STAIRS TO HAVE 3/4" TREADS, POPLAR RISERS, SKIRTS, STRINGERS, SPINDLES AND TRIM. PROVIDE BRIDGING PER CODE FOR ALL 1-JOIST FRAMING AND 2X10 DECK FRAMING.

7. INSULATION / ROOFING - EXTERIOR WALL INSULATION SHALL BE R-21 WITH VAPOR BARRIER. CEILING AND ROOF CAVITY SHALL BE R-50 WITH VAPOR BARRIER. ROOFING TO BE 3000 LB. 30 YR. WARRANTY, ON 15 LB. FELT'S WITH ICE-GUARD ON EAVES AND VALLEYS. METAL ROOFING AS SHOWN ON DRAWINGS SHALL BE 26 GAUGE OR EQUAL. INSTALLATION SHALL BE OVER ICE GUARD. ADD RIDGE VENT IF INSULATION REQUIRES IT. SEAMLESS GUTTERS, DOWNSPOUTS, AND LEAF GUARD SHALL BE ALUMINUM. DOWNSPOUTS SHALL BE TIED INTO 5"ORM SYSTEM. SOFFITS AND FASCIAS SHALL BE PRE-FINISHED ALUMINUM. SECOND FLOOR DECK SHALL BE DURADECK OVER 3/4" EXTERIOR GRADE PLYWOOD. SECOND FLOOR DECK TO BE DURADECK SURCOSEAL MEMBRANE WITH METAL EDGE DECK FLASHING. COLOR BEIGE #43/60.

8. DOORS AND WINDOWS - FRONT DOOR AND SIDE LIGHTS SHALL BE 6' X 8' AS MANUFACTURED BY STANLEY, THERMA-TRU, OR EQUAL. INTERIOR DOORS AS SHOWN SHALL BE TWO PANE, PAINTED, ARC TOP WAGON'S OR EQUAL. SERVICE DOORS SHALL BE HOLLOW METAL WITH ALUMINUM TRAVELERS. GARAGE DOORS SHALL BE INSULATED, GALVANIZED STEEL WITH OPERATOR.

WINDOWS AS SHOWN IN WINDOW SCHEDULE AND ON ELEVATIONS SHALL BE ANDERSON 400 SERIES OR EQUAL WITH PVC CLADDING, LOWE INSULATING GLASS AND SCREENS. AT. DOOR HARDWARE SHALL BE BRUSHED NICKEL.

9. FINISHES - INTERIOR WALLS AND CEILINGS SHALL BE 5/8" DRYWALL. GARAGE WALL AND CEILING ADJACENT TO LIVING SPACE SHALL BE 5/8" TYPE X-1-R RATED. ALL BATH AREAS SHALL BE 5/8" MR DRYWALL. WOOD FLOORING SHALL BE PREFINISHED 3/4" RED OAK RANDOM WIDTH AND LENGTH BY BRUCE, HARCO, OR EQUAL. LAMINATE FLOORING ON 1/4" UNDERLAYMENT SHALL BE BASE BID CARPETING SHALL BE 30 OZ WITH RESIDENTIAL GRADE PAD. CERAMIC TILE SHALL BE AMERICAN CLEAN METROPOLITAN OR EQUAL. GARAGE CONCRETE FLOOR SHALL RECEIVE CONCRETE SEALER. INTERIOR PAINTING SHALL BE PRIMER PLUS TWO COATS OF LATEX. DOORS AND TRIM SHALL BE PRIMER AND TWO FINISH COATS OF SEMI-GLOSS LATEX. ALL EXPOSED METAL (STEEL) SHALL BE PRIMER, TOUCHED UP IN THE FIELD, AND RECEIVE ONE COAT OF EPOXY PAINT.

10. SPECIALTIES - FIREPLACE UNIT SHALL BE MALESTIC DV 360 WITH BI-FOLD DOORS, SCREEN, GAS SUPPLY, AND 7" FILL. ALL KITCHEN APPLIANCES SHALL BE OE OR SUB-ZERO, STAINLESS STEEL, AND PROVIDED BY THE CONTRACTOR. BATHROOM ACCESSORIES TO BE MIAMI CAREY, BASCO, OR EQUAL. EACH BATH SHALL HAVE TWO TOWEL BARS, ONE TP HOLDER, TWO ROBE HOOKS, AND EACH LAV SHALL HAVE ONE 16 X24" MEDICINE CABINET. CASEWORK FOR THE KITCHEN, LAUNDRY AND BATH AREAS SHALL BE PREFINISHED UNITS BY MERRILLAT, MEDALLION, OR EQUAL. ALL COUNTER TOPS EXCEPT KITCHEN SHALL BE SOLID SURFACE. KITCHEN COUNTERTOPS SHALL BE 1 5/8" GRANITE. DECK HAND RAILS SHALL BE ALUMINUM SECTIONS 1 1/2" X 2" WITH 2X2 UPRIGHTS WITH 4" TEMPERED GLASS PANELS.

11. MECHANICAL / PLUMBING - FURNACE AND ACC TO BE SIZED BY THE HVAC CONTRACTOR. PROVIDE ALTERNATE PRICE FOR SECOND HVAC UNIT IN THIRD FLOOR LOFT AREA TO SERVE THE THIRD FLOOR AND SECOND FLOOR GUEST BEDROOMS. HVAC CONTRACTOR TO DETERMINE HEAT LOSS/ GAIN AND DESIGN DUCTWORK LAYOUT.

TUB/ SHOWER AND SHOWER UNIT SHALL BE ONE PIECE BY LASCO, AQUAGLASS, OR EQUAL. MASTER BATH SHOWER SHALL BE 12' X 12' CERAMIC TILE WALLS AND FLOOR WITH LEAD PAN. PROVIDE 3 TILED NICHES IN SHOWER. SHOWER ENCLOSURE SHALL BE ALUMINUM FRAME WITH PATTERNED TEMPERED GLASS PANELS & DOOR - 2'-6" X 6'-8". PLUMBING FIXTURES SHALL BE BY AMERICAN STANDARD, KOHLER, CRANE OR EQUAL. ALL TRIM SHALL BE ABOVE GRADE AND NICKEL FINISH. WATER HEATER TO BE 50 GAL. WITH POWER VENT BY BEEM, OR A.O. SMITH. PROVIDE HW. CIRCULATING LOOP AND SYSTEM SHUT OFF CAPABILITIES. LAUNDRY TO HAVE WASHER/ DRYER HOOKUPS. PROVIDE FOUR FREEZE PROOF HOSE BIBBS (H.B.) PER UNIT, AS SHOWN.

12. ELECTRICAL - ELECTRICAL INSTALLATION SHALL MEET NEC AND LOCAL CODES. SERVICE SHALL BE 200 AMP. LIGHT FIXTURE ALLOWANCE SHALL BE \$4000. SECURITY AND SOUND SYSTEMS SHALL BE BY OWNER AND COORDINATED WITH THE CONTRACTORS. ELECTRICAL CONTRACTOR SHALL REVIEW OUTLET LAYOUT AND COORDINATE WITH OWNER ON THE SITE FOR FINAL LOCATION PROVIDE DOCK UTILITY BOX WITH 2-50AMP, 2-30AMP, 2-PHONE OUTLETS, AND 2 WATER CONNECTIONS AT EACH DOCK LOCATION.

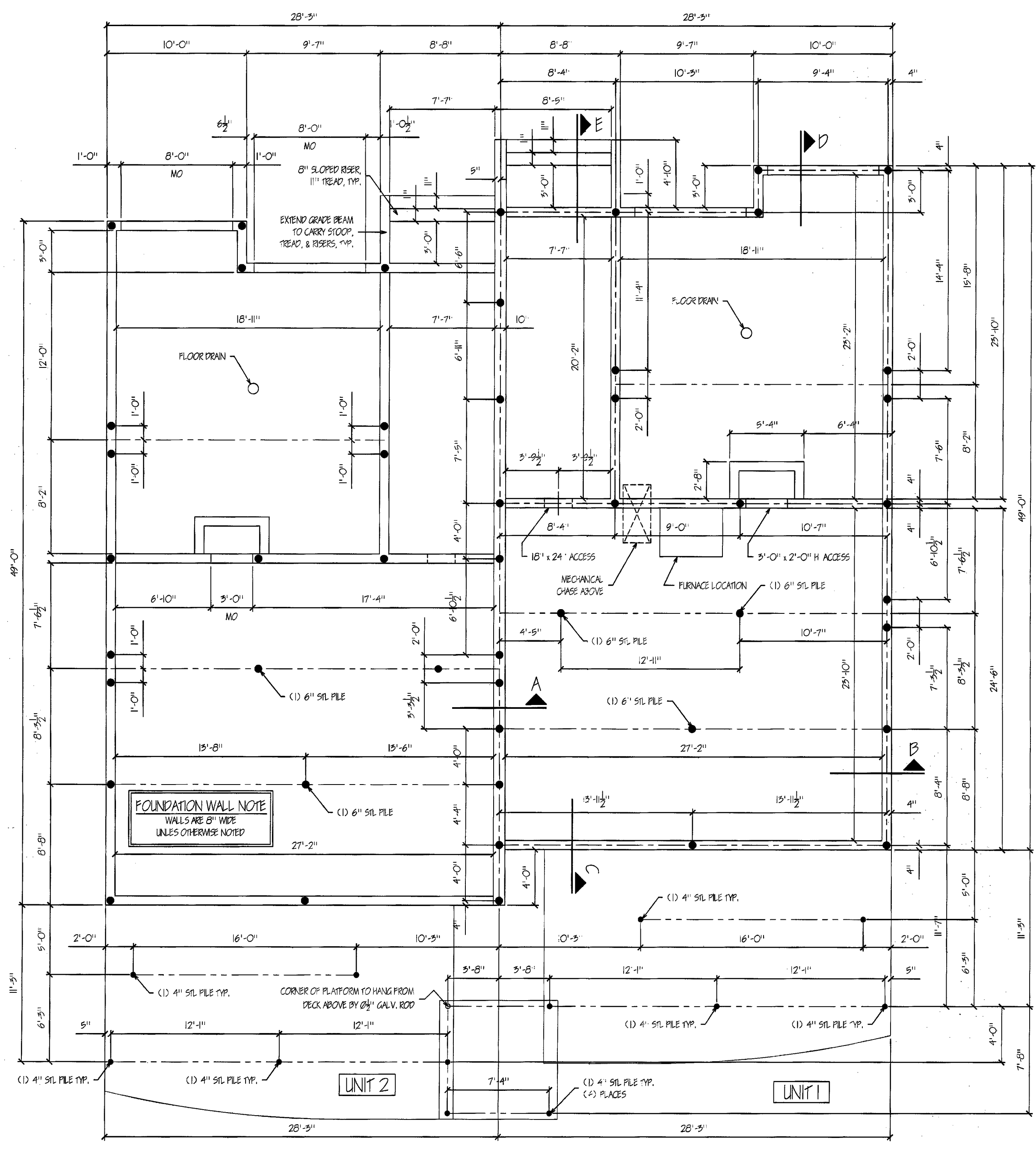
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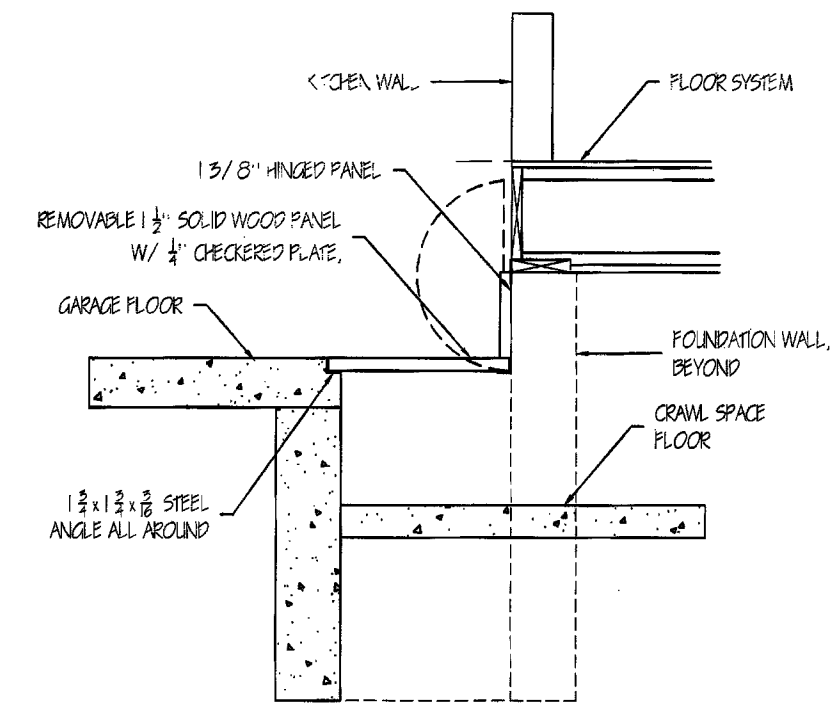
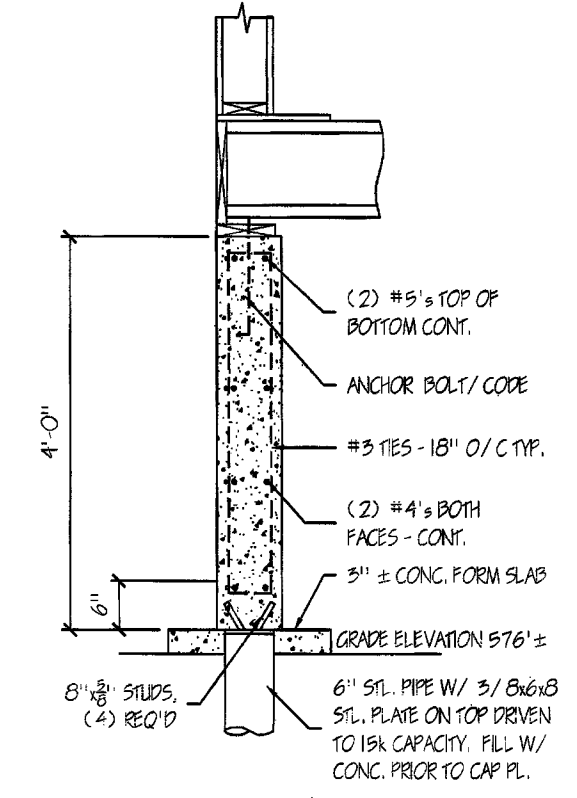
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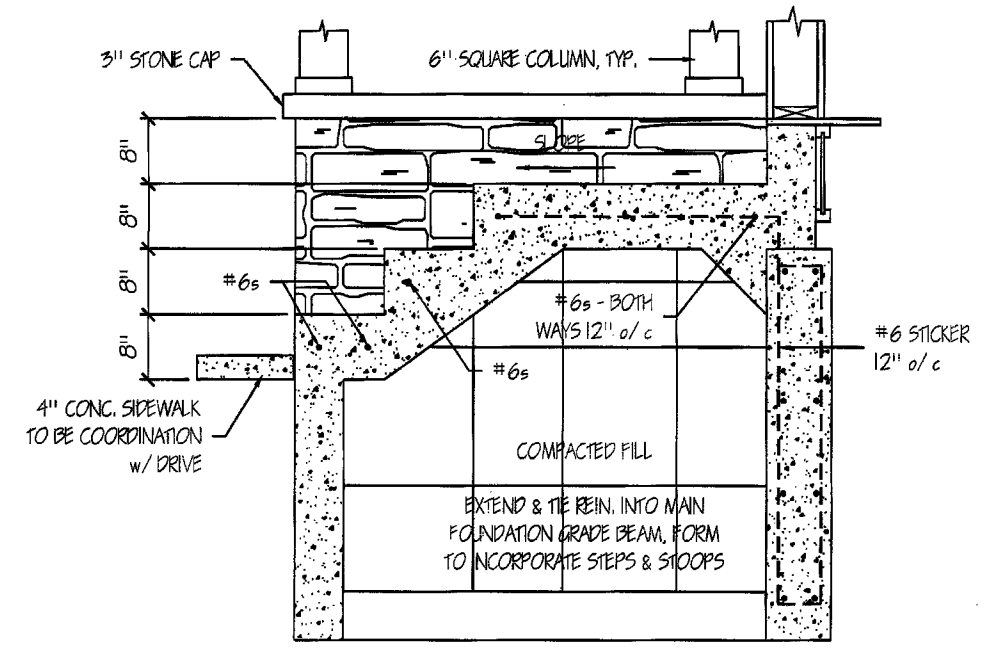
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES:

- PILE LAYOUT BASED ON 7.5 TON CAPACITY PILES (15 KIIPS PER PILE). THIS IS A SERVICE LOAD (NOT ULTIMATE LOAD) CAPACITY.
- IN SEVERAL LOCATIONS THE PILE SPACING IS NOTED TO BE 1'-0" +/- IN THESE LOCATIONS A PAIR OF PILES IS REQUIRED - ONE PILE DOES NOT HAVE THE CAPACITY TO SUPPORT THE APPLIED LOADS.
- DUE TO THE PATH OF THE LOADS FROM THE FRAMING ABOVE, CONCENTRATED LOADS ARE APPLIED TO THE FOUNDATION IN MANY LOCATIONS. A PILE IS REQUIRED AT MOST OF THESE CONCENTRATED LOAD LOCATIONS, AS SHOWN ON THE FOUNDATION PLAN.
- ALONG THE CENTER WALL (BETWEEN UNITS), ADDITIONAL PILES ARE NEEDED DUE TO THE MASONRY WALL LOAD AND THE LOADS FROM THE ADJACENT UNITS, AS SHOWN ON THE FOUNDATION PLAN.
- GRADE BEAM AND PIER DESIGNS ARE BASED ON $f'_c = 4000$ PSI @ 28 DAYS AND REBAR $F_y = 60$ KSI.



CRAWL SPACE ACCESS SECTION
SCALE: 3/4" = 1'-0"



SECTION E
SCALE: 3/4" = 1'-0"

Engineer Name and Address
WESTFALL STRUCTURAL ENGINEERING
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Ann Arbor, Michigan 48104
(734) 975-4401

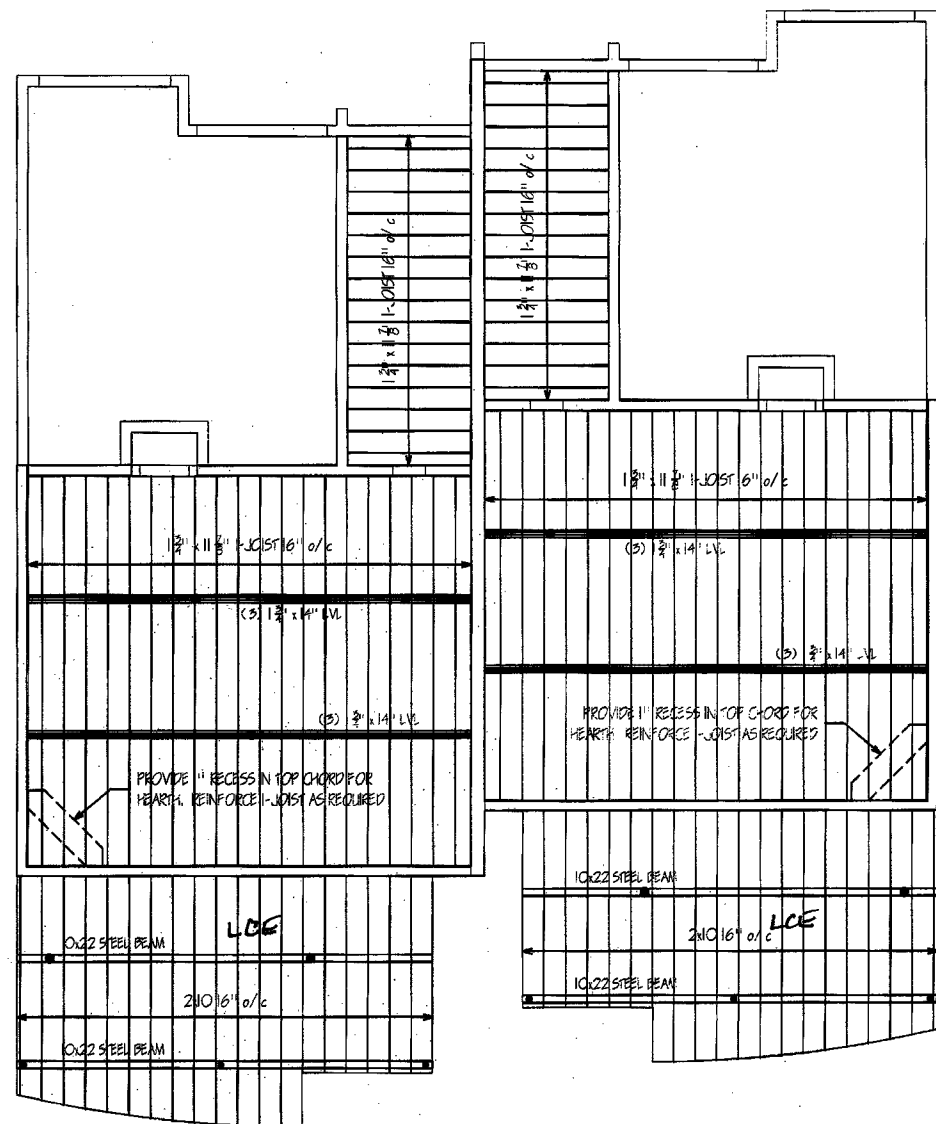
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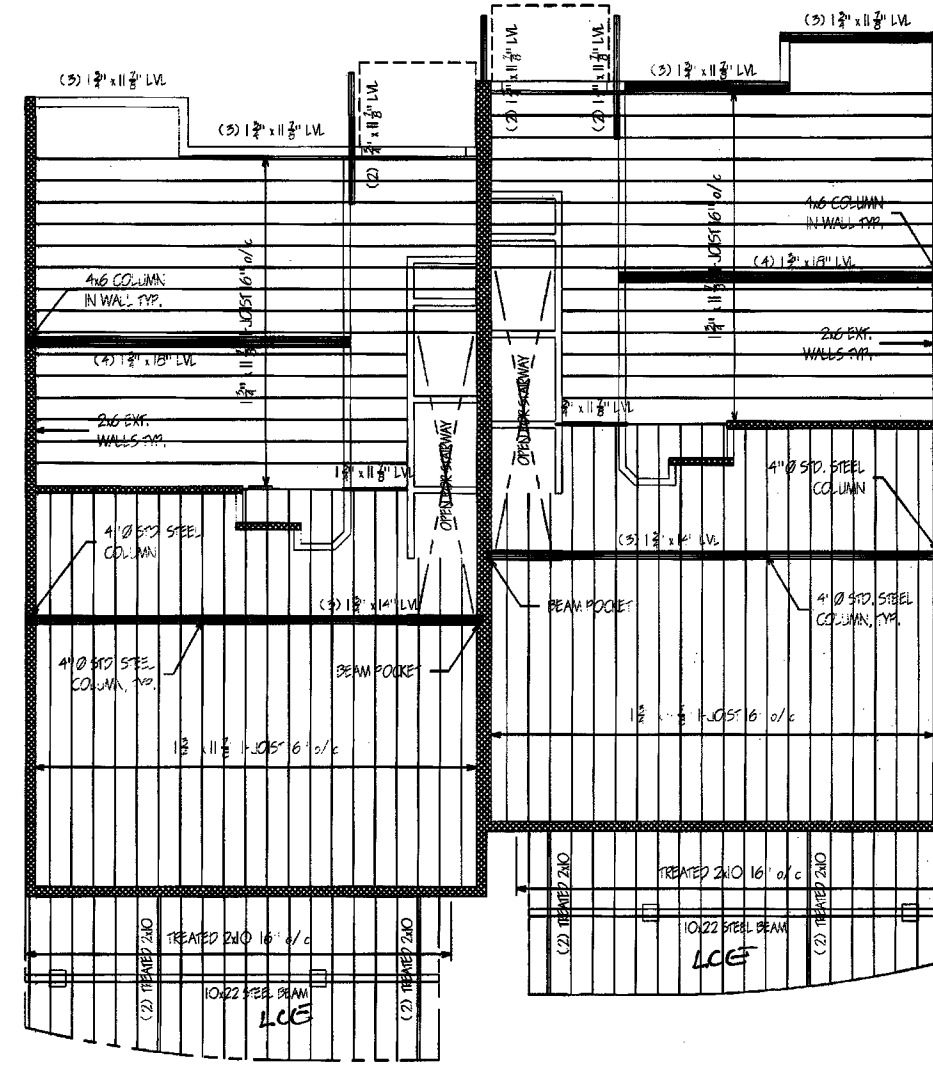
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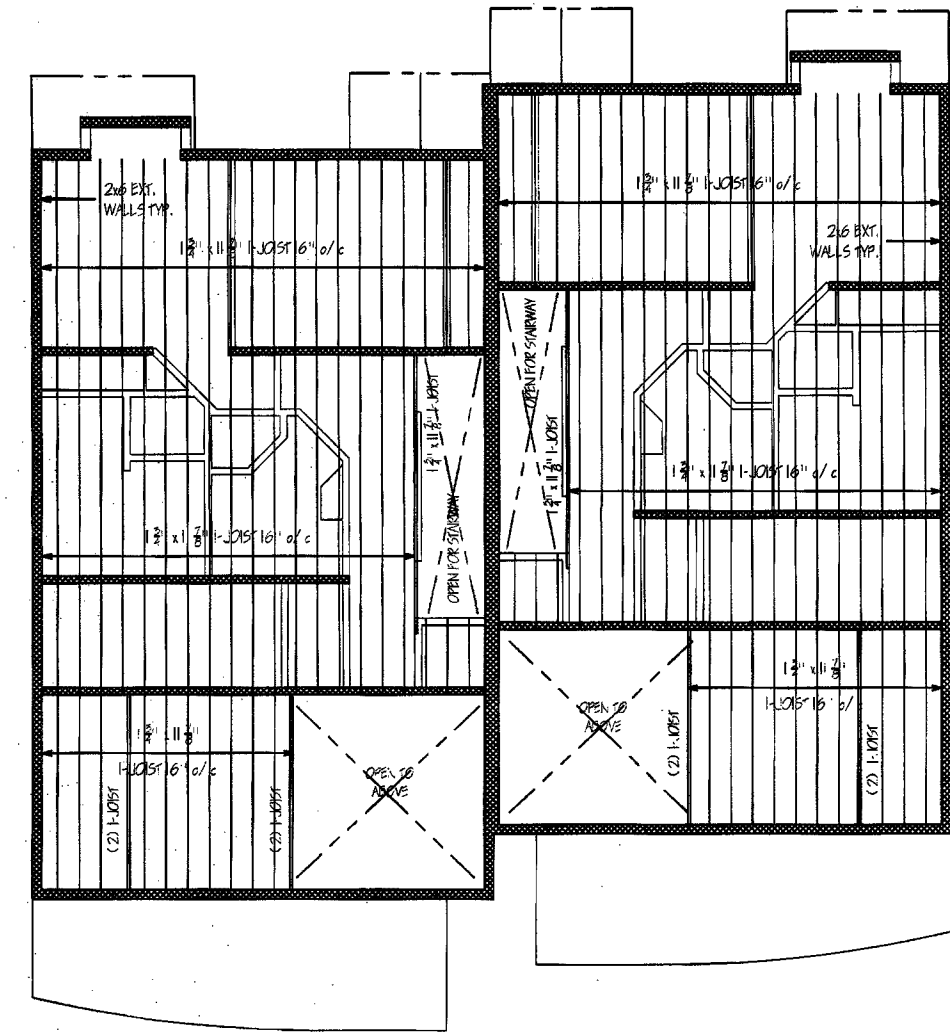
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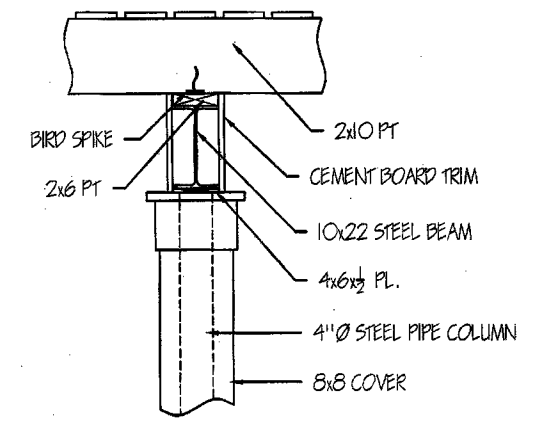
1st FLOOR FRAMING
SCALE: 1/8" = 1'-0"



2nd FLOOR FRAMING
SCALE: 1/8" = 1'-0"

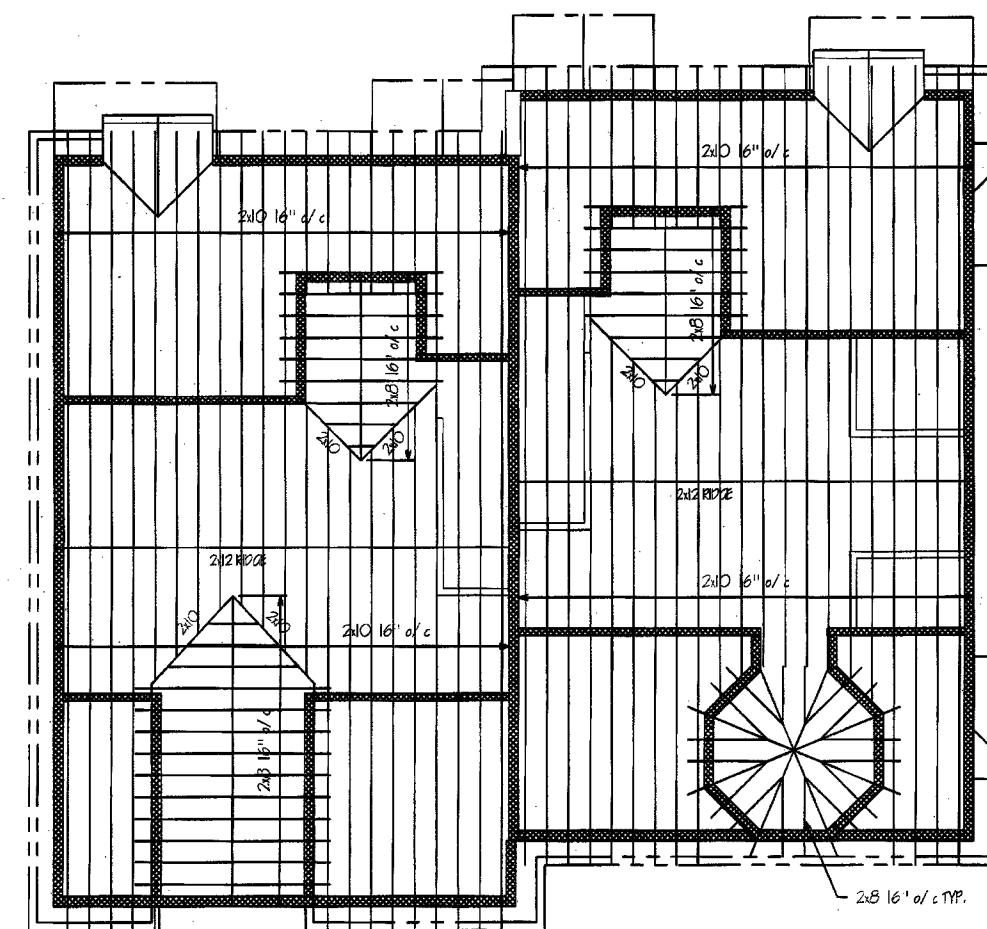
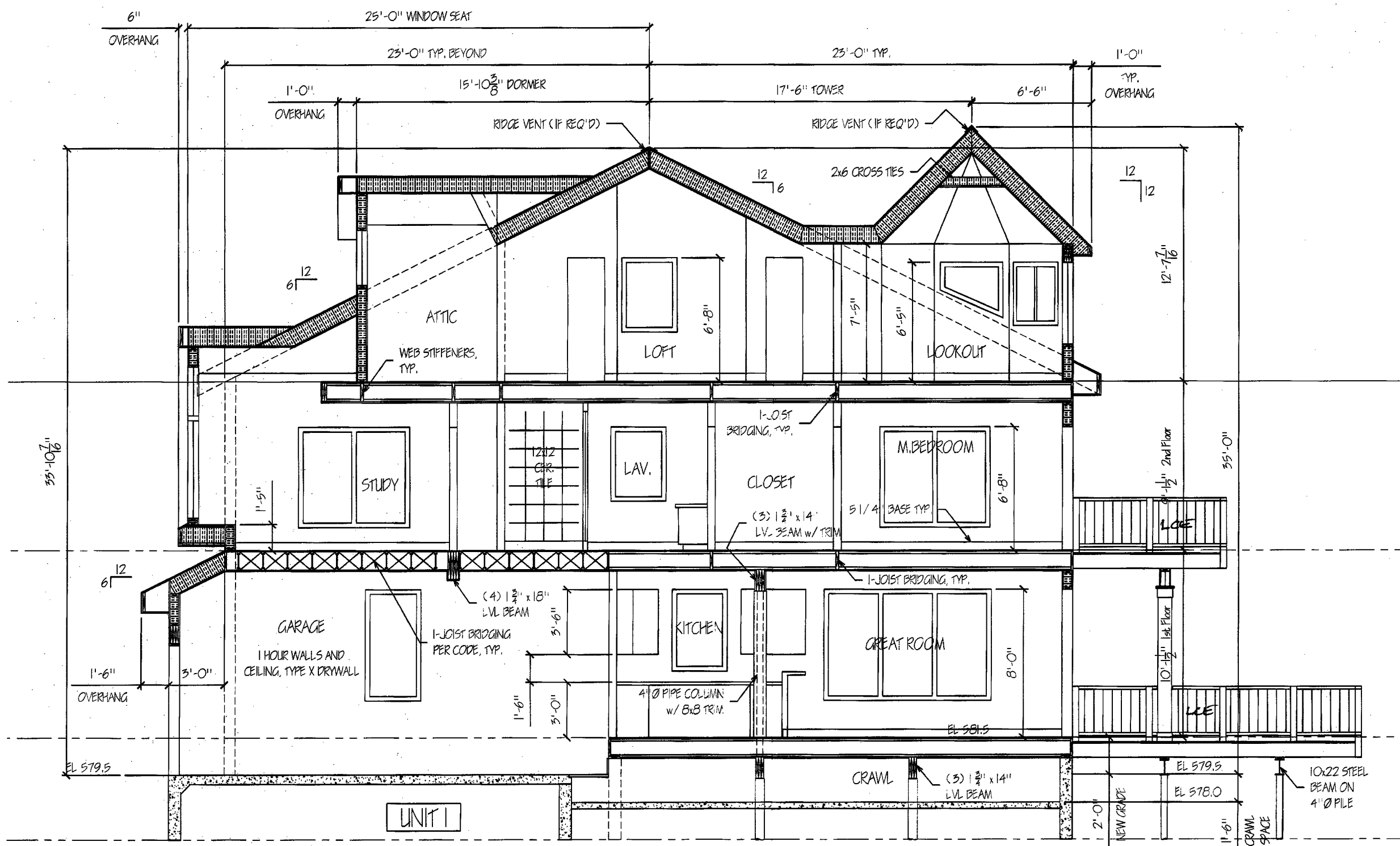


3rd FLOOR FRAMING
SCALE: 1/8" = 1'-0"



DECK POST CONNECTION
SCALE: 3/4" = 1'-0"

WALL NOTE:
SHADED WALLS ARE LOAD BEARING



ROOF FRAMING
SCALE: 1/8" = 1'-0"

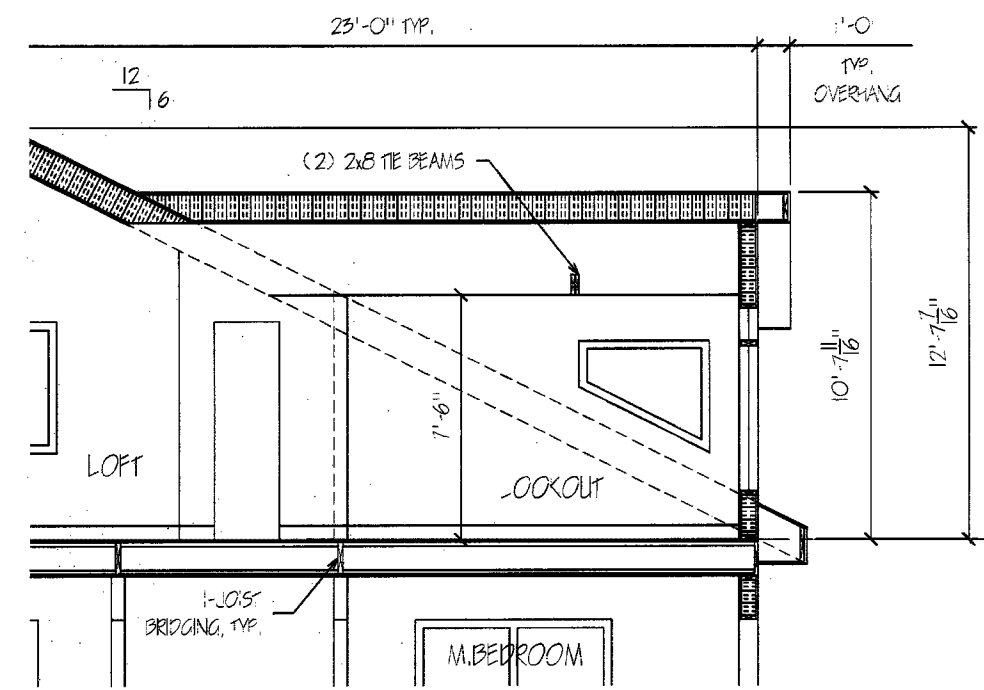
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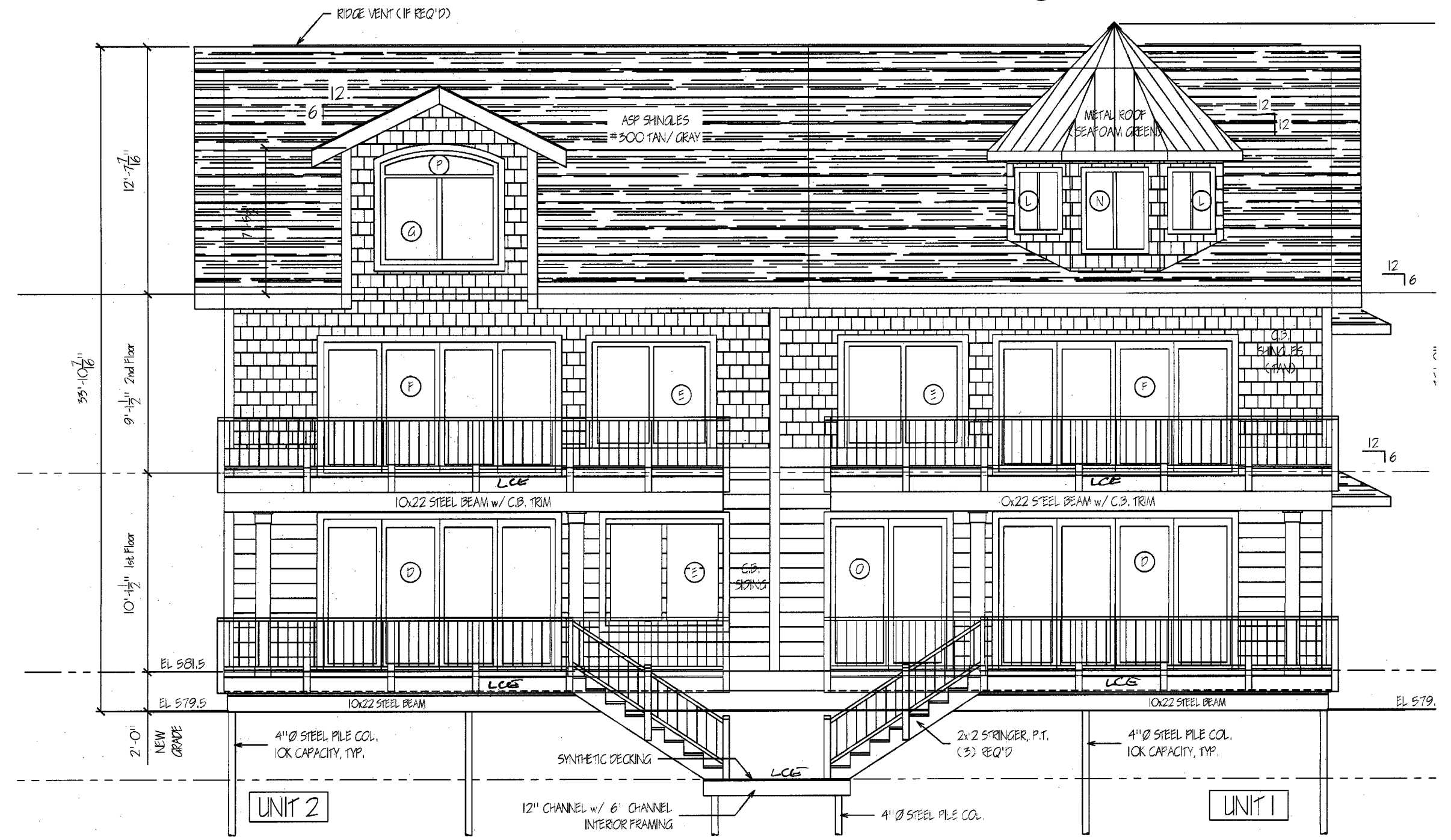
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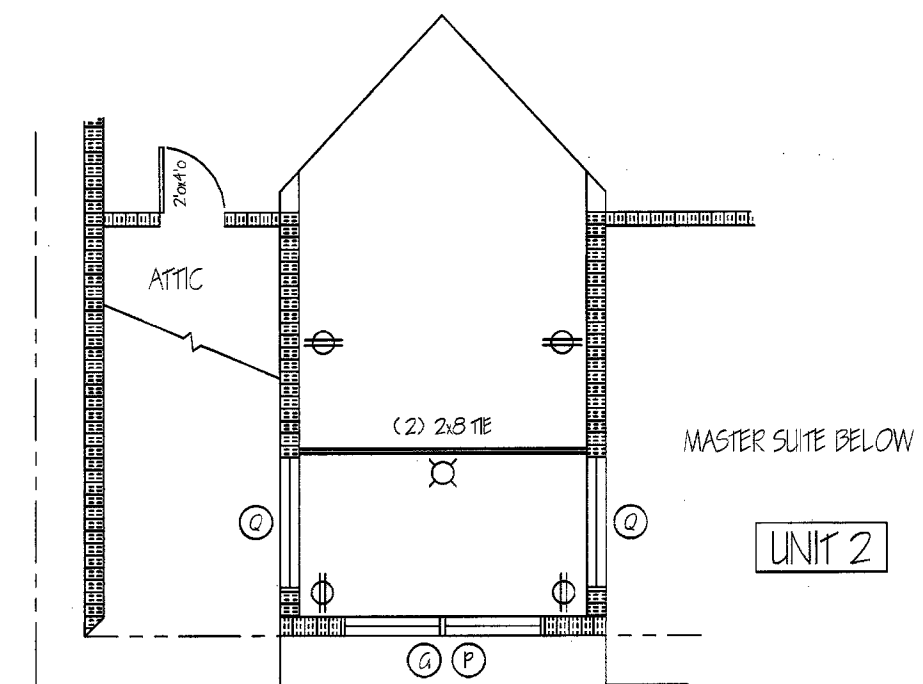


UNIT 2, 3rd FLOOR LOOKOUT
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"



UNIT 2, 3rd FLOOR ELECT.
SCALE: 1/4" = 1'-0"

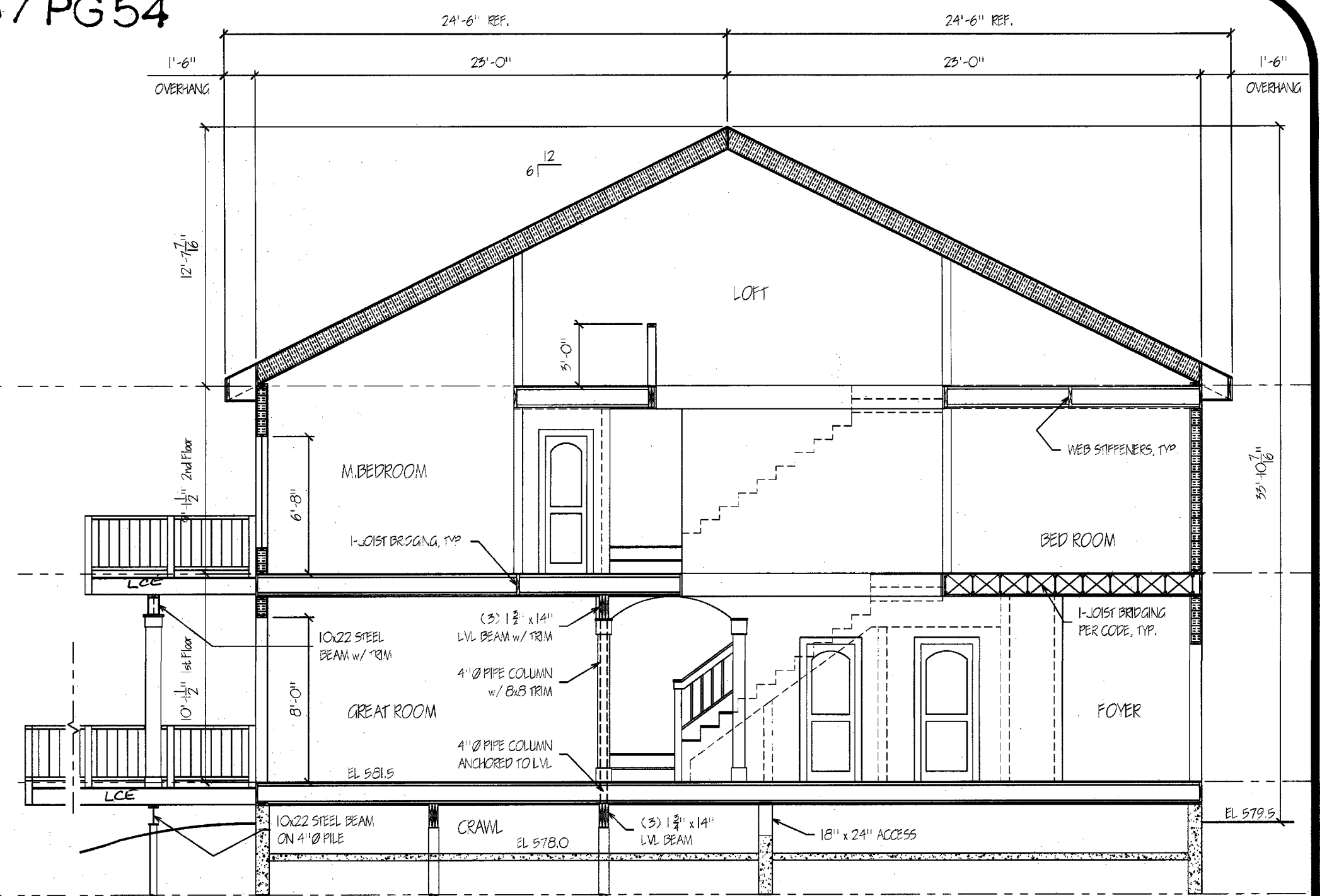
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JOHN H. LUSCOMBE 08/12/08
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